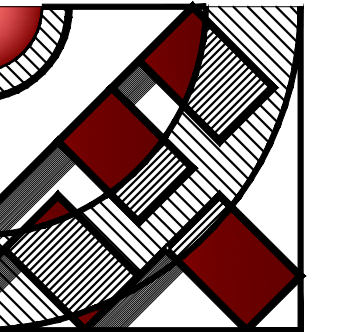


PROPOSED REMODEL 10-UNITS EXISTING BUILDING

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND
HILLS, CALIFORNIA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

ARCHITECT:

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CONSTRUCTION.

OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

COVER SHEET

REVISION:

NO.	DATE	BY
-	-	-

SCALE:

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

SHEET

A-0.0

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ATTACHMENT "A"

Attachment "A"
(7-30-99)

Job Address: 800 NORTH EI CENTRO AVE, LOS ANGELES, CA 90038 Permit # _____

DEPARTMENT OF BUILDING AND SAFETY

Minimum Requirements for Construction Projects/
Certification Statement

The following is intended as an attachment to the construction/grading plans and represent the minimum standards of good housekeeping which must be implemented on all sites as Development Construction Projects.

Development Construction Projects are defined as projects where there is less than two acres of disturbed soil, not located in designate hillside areas, and not in or adjacent to an environmental sensitive areas. Note: A project in a designated hillside area with less than two acres of disturbed soil and not in or adjacent to an environmental sensitive areas may be classified as a Development Construction Project if the Grading Pre-Inspection (GPI) is not required or the entire lot has a slope of ten percent or less.

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from site by wind or water
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil nor the surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete waste on-site until they can be disposed of as solid waste.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above, necessary to control stormwater pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____
(Owner or authorized agent of the owner)

PROJECT INFORMATION

PROJECT ADDRESS:

800-802-804 N EI CENTRO AVE, LOS ANGELES, CA 90038
5753-5755 W WARING AVE, LOS ANGELES, CA 90038

LEGAL DESCRIPTION:

ASSESSOR PARCEL NO. (APN): 5534031017
TRACT: EL CENTRO TRACT
MAP REFERENCE: M B 2-84
LOT: 24-22
MAP SHEET: 141B189
BLOCK: 11, ARB 1
PIN #: 141B189 100

PROJECT OWNER AND ADDRESS:

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PLANNING AND ZONING INFORMATION:

PROPOSED: 100% PRIVATELY FUNDED 10-UNITS 1-STORY
PARKING /
ZONING: R3-1XL
LOT AREA: 4,101.2 (sq ft)+4,098.2 (sq ft)=8,199.4 (sq ft)
ALLOWABLE HEIGHT: 30 FEET
EXISTING HEIGHT, PROPOSED HEIGHT: 21.7 FEET

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES
APPLICABLE CODES: 2017 LOS ANGELES BUILDING CODE (LABC)
GROUP OF OCCUPANCY: R
TYPE OF CONSTRUCTION: TYPE V
SPRINKLER: YES / NFPA 13 SPRINKLER
BUILDING RATE: ONE HR. RATED
EXTERIOR WALLS: ONE HR. RATED

BUILDING SUMMARY:

PROJECT INFORMATION: 10-UNITS 1-STORY
10 UNITS S PARKING /

PARKING SUMMARY:

REQUIRED AUTOMOBILE PARKING :
REQUIRED HALF A AUTOMOBILE PARKING PER UNIT
10 X 1= 10 PARKING SPACES INCLUDE 1 ADA
REQUIRED BICYCLE PARKING :
REQUIRED ONE PARKING PER UNIT LONG TERM AND

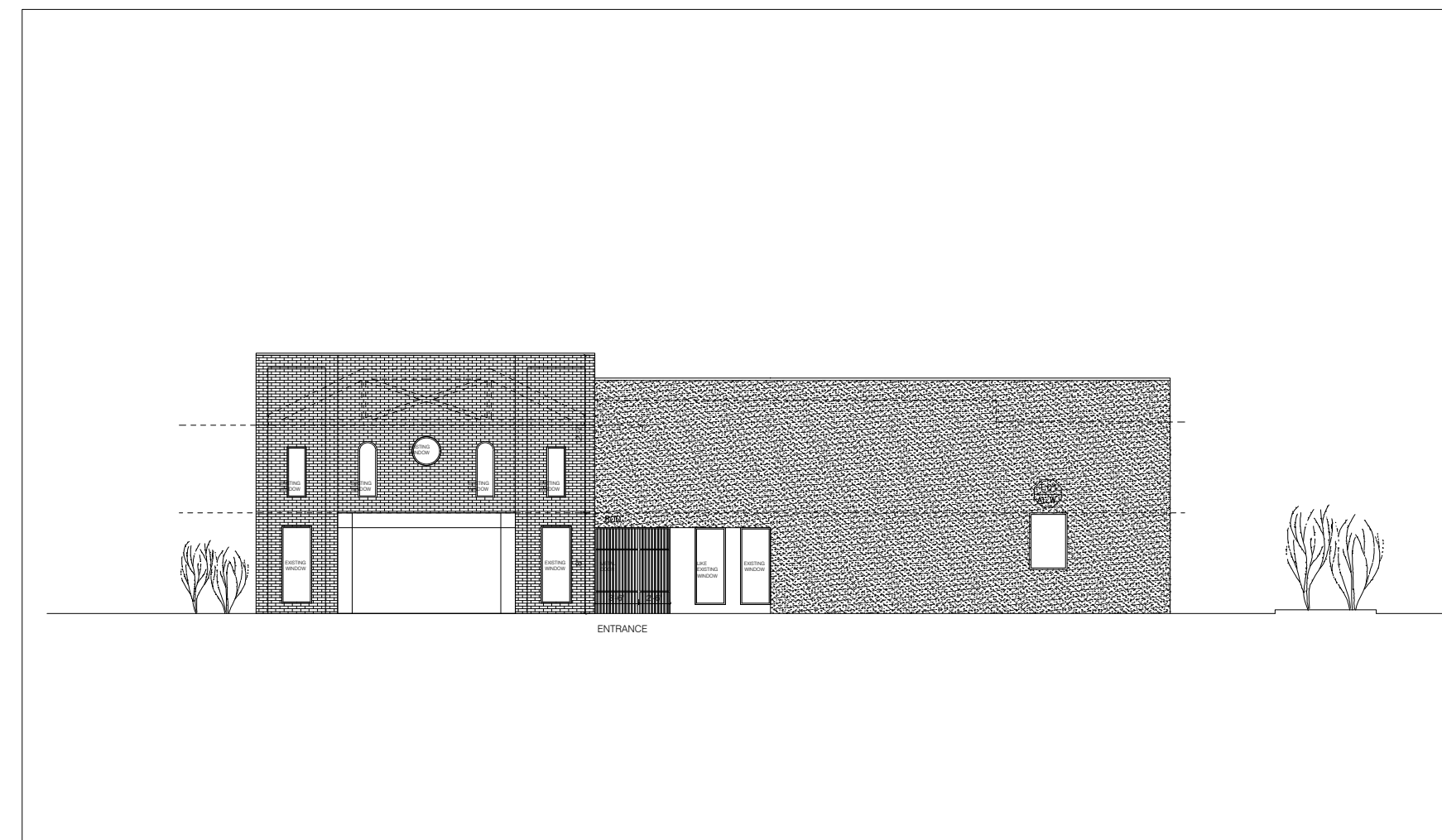
LONG TERM BICYCLE: 10
SHORT TERM BICYCLE: 2
SUBTOTAL: 12 BICYCLE PARKING

PROPOSED AUTOMOBILE PARKING:
PROPOSED 0.5 PARKING PER BEDROOM. PER TOC TIER1
10 - SINGLE UNITS = 10 X 0.5= 5 PARKING SPACES
ADA 1 PARKING
STANDARD 4 PARKING

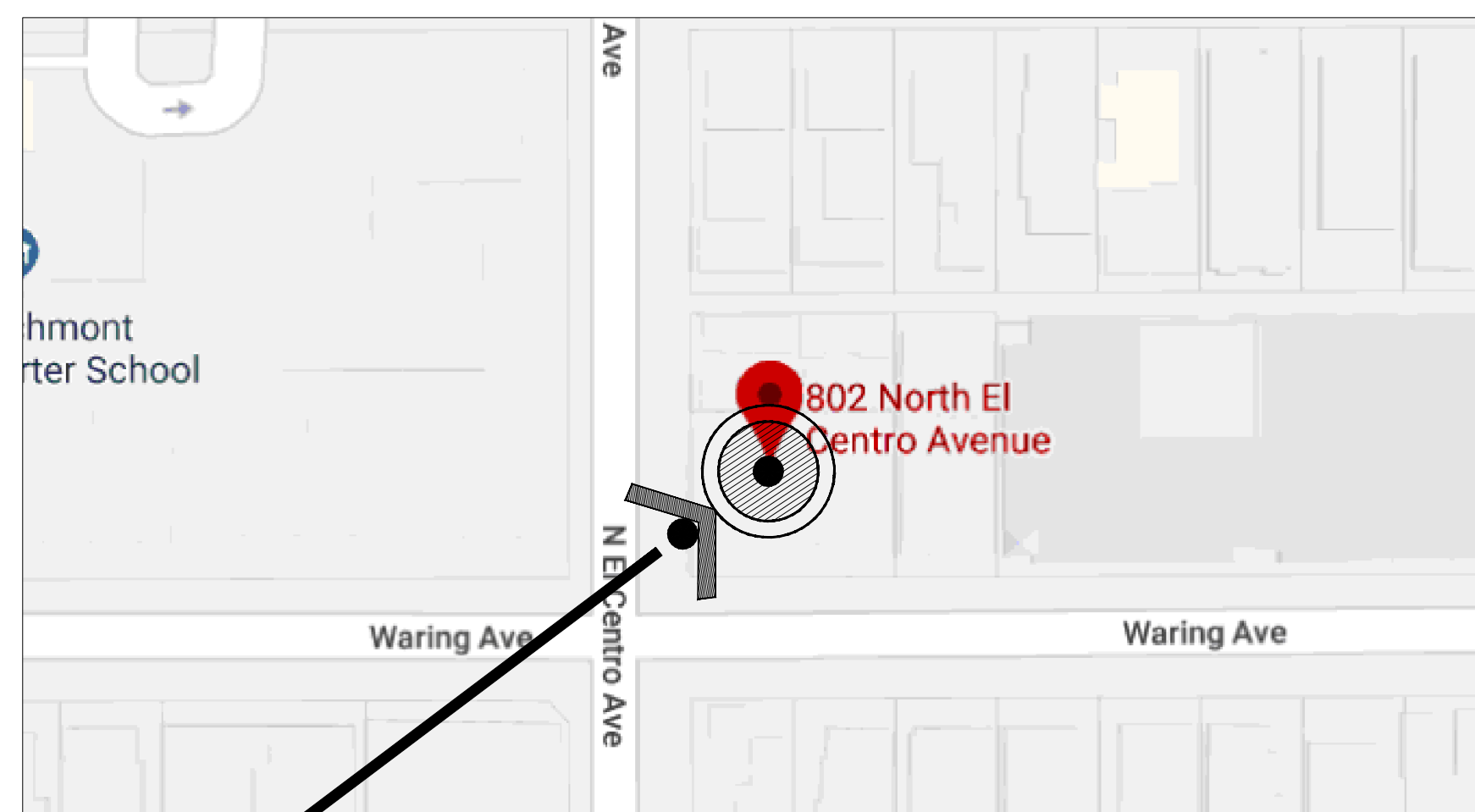
PROPOSED BICYCLE PARKING :

PROPOSED HALF PARKING PER UNIT LONG TERM
LONG-TERM BICYCLE 10 PARKING
SHORT-TERM BICYCLE 2 PARKING
PROPOSED 12 BICYCLE PARKING

PROVIDED: 1 ADA AND 4 AUTOMOBILE AND 12 BICYCLE PARKING



VICINITY MAP



800 NORTH EI CENTRO AVE, LOS ANGELES,
CA 90038

NOTES

CODE:

- 2017 LOS ANGELES BUILDING CODE (LABC) BASED ON 2017 CALIFORNIA BUILDING CODE (CBC), GRN, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES ARE APPLICABLE IN THIS PROJECT.

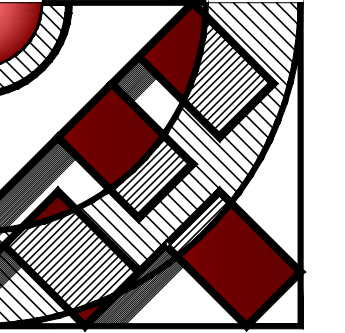
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. (BUILDING CODE 903 AND FIRE CODE 903) (UNDER SEPARATE PERMIT)

- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DVI. PRIOR TO INSTALLATION.

- A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.4) (UNDER SEPARATE PERMIT)

- THIS BUILDING IS 100% PRIVATELY FUNDED.

PROJECT INFORMATION



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND
HILLS, CALIFORNIA 91364
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PARKING SUMMARY

AUTOMOBILE PARKING

REQUIRED PARKING SPACES			
UNIT/NO. OF BED RM.	REQUIRED PARKING PER UNIT (TIER1)	NUMBER OF UNITS	NUMBER OF PARKING
SINGLE UNIT	0.5	10 UNITS	5
TOTAL			5

PROPOSED PARKING				
LOCATION	NUMBER OF PARKING			TOTAL
	H/C	STD.	COMPACT	
PARKING FLOOR	1	4	0	5
PROPOSED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1 10 UNITS - SINGLE = 5 BEDROOMS 10 BEDROOM X 0.5 PARKING = 5 PARKING SPACES. PROPOSED 5 PARKING SPACES (NO GUEST PARKING)				
TOTAL:	5 AUTOMOBILE PARKING			

BICYCLE PARKING

REQUIRED PARKING	
LONG-TERM	SHORT-TERM
ONE PER UNIT = 10	ONE PER 10 UNITS (MIN. 2) = 2
TOTAL	12 BICYCLE PARKING

PROPOSED PARKING	
LONG-TERM	SHORT-TERM
10	2
TOTAL	12 BICYCLE PARKING

UNITS AREA CALCULATION

FLOORS	LIVING AREA				OPEN SPACE		
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.	REAR YARD sq. ft.
UNIT- 01	649	133	44	516	---	---	109.30
UNIT- 02	620	99	44	521	---	---	109.30
UNIT- 03	620	99	44	521	---	---	109.30
UNIT- 04	620	99	44	521	---	---	109.30
UNIT- 05	620	99	44	521	---	---	109.30
UNIT- 06	512	111	38	401	---	---	---
UNIT- 07	647.6	53.6	49.60	594	---	---	---
UNIT- 08	1059.58	169.08	44.60	890.5	---	---	---
UNIT- 09	769.86	117	44.60	652.79	---	---	---
UNIT- 10	406.70	36.7	38	370	---	---	---
TOTAL	6524.74	1061.38	434.8	5842.29	---	---	546.50

FLOOR AREA PER ZONING CODE

FAR	
SPACE	TOTAL sq. ft.
LOT AREA	8,199.40
BASEMENT FLOOR	658.37 SQ.F
FIRST FLOOR	3709.16 SQ.F
SECOND FLOOR	2166.74 SQ.F
TOTAL FLOOR AREA	6524.74 SQ.F
BUILDABLE AREA	4900
FAR BY RIGHT = 3:1 PER R3 ZONE BY RIGHT= 8,199.40 X 3 = 24,598.2 24,598.2 > 6524.74	

FLOORS' AREA CALCULATION

FLOOR AREA CALCULATION PER BUILDING CODE ZONING CODE	A	B	C	D	CALC. A-(B+C+D)	E	CALC. A-(B+E)
	GROSS AREA OF BUILDING sq. ft.	EXTERIOR WALLS sq. ft.	CORRIDORS, HALLWAYS, LOBBY	AREA OF COURTS, OPEN SHAFTS, & VENTS sq. ft.	BUILDING CODE AREA sq. ft.	AREA OF STAIRWAYS, SHAFTS, MECH.	ZONING AREA sq. ft.
BASEMENT FLOOR	658	54	-	-	603	-	603
FIRST FLOOR	3716	312	222	-	3,626	-	3,404
SECOND FLOOR	2307	125	-	-	2,182	-	2,182
TOTAL	6,681	491	222	-	6,411	-	6,189

AREA CALCULATION SUMMARY

PARKING AREA CALCULATION

PARKING AREA	
SPACE	TOTAL sq. ft.
PARKING	884.00
BICYCLE PARKING	102.00
TRASH ROOM	60.00
STAIRCASE	0.00
MECHANICAL RM.	0.00
DRIVEWAY	0.00
LOBBY	0.00
ELEVATOR	0.00
EXTERIOR WALLS	0.00
TOTAL	1,046.00

OPEN SPACE SUMMARY

OPEN SPACE AREA CALCULATION

REQUIRED OPEN SPACE			
UNIT BY NO. OF BED.	REQUIRED OPEN SPACE PER UNIT (SQ. FT.)	NO. OF UNITS	TOTAL REQUIRED OPEN SPACE (SQ. FT.)
ONE BED. UNIT (> 3 HABITABLE RM.)	100.00	10	1000.00
TWO BED. UNIT (= 3 HABITABLE RM.)	---	-	-
THREE BED. UNIT (< 3 HABITABLE RM.)	---	-	-
TOTAL	100.00	10	1000.00

PROPOSED OPEN SPACE		
SPACE	LOCATED AT	AREA OF OPEN SPACE (SQ. FT.)
A	REAR YARD	1318
B	SECOND FLOOR	-
C	THIRD FLOOR	-
D	FOURTH FLOOR	-
TOTAL	A+B+C+D+E	1318

OWNER :

RAMI BEMOSHIE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

REVISION:

NO. DATE BY

- - -

SCALE: -

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

SHEET

A-0.1

292.22

LEGEND:			
WM	WATER METER		BOUNDARY LINE
BW	BACK OF WALK		TREE
TW	TOP OF WALL		CONC. BLOCK WALL
DWY	DRIVEWAY		WOOD FENCE
TC	TOP OF CURB		CONCRETE PAVEMENT
C/L	CENTER LINE		BRICK PAVEMENT
+	SPOT ELEVATION		HANDICAP ACCESS
EP	EDGE OF PAVEMENT		SANITARY SEWER MANHOLE
PA	PLANTING AREA		
PP	POWER POLE		
	DRAIN		
	CATCH BASIN		

LEGAL DESCRIPTION

LOTS 22 AND 24 OF EL CENTRO TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 2 PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOPOGRAPHIC SURVEY

PREPARED FOR:

LEONARD YAGHOOBI
818-231-8475

NOTES:

1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA
2. MISC. DATA
TOTAL PROPERTY AREA: 8,200 SQ.FT.

BENCH MARK:

CUT SPIKE 3.5FT W OF W CURB VINE ST
5FT N OF WARING AVE SW COR CB
BENCH MARK: 12-13570
DATUM: NAVD 1988
ELEVATION = 284.847'

No.	Revision/Issue	Date

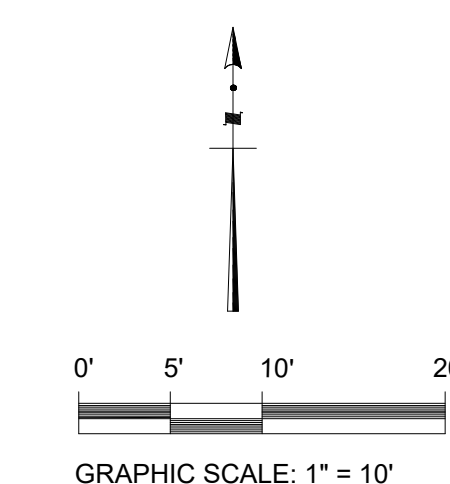
Firm Name and Address

MOLAI LAND & DESIGN
24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
818-325-9225
MOLAI22@YAHOO.COM

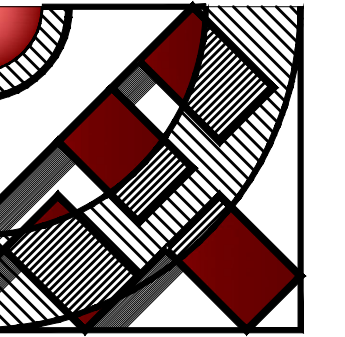
Project Name and Address

800 N EL CENTRO AVE
LOS ANGELES, CA 90038

Project	3324	Sheet	1 OF 1
Date	03-16-2018		
Scale	1" = 10'		A-1.0



287.36



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CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

SITE PLAN

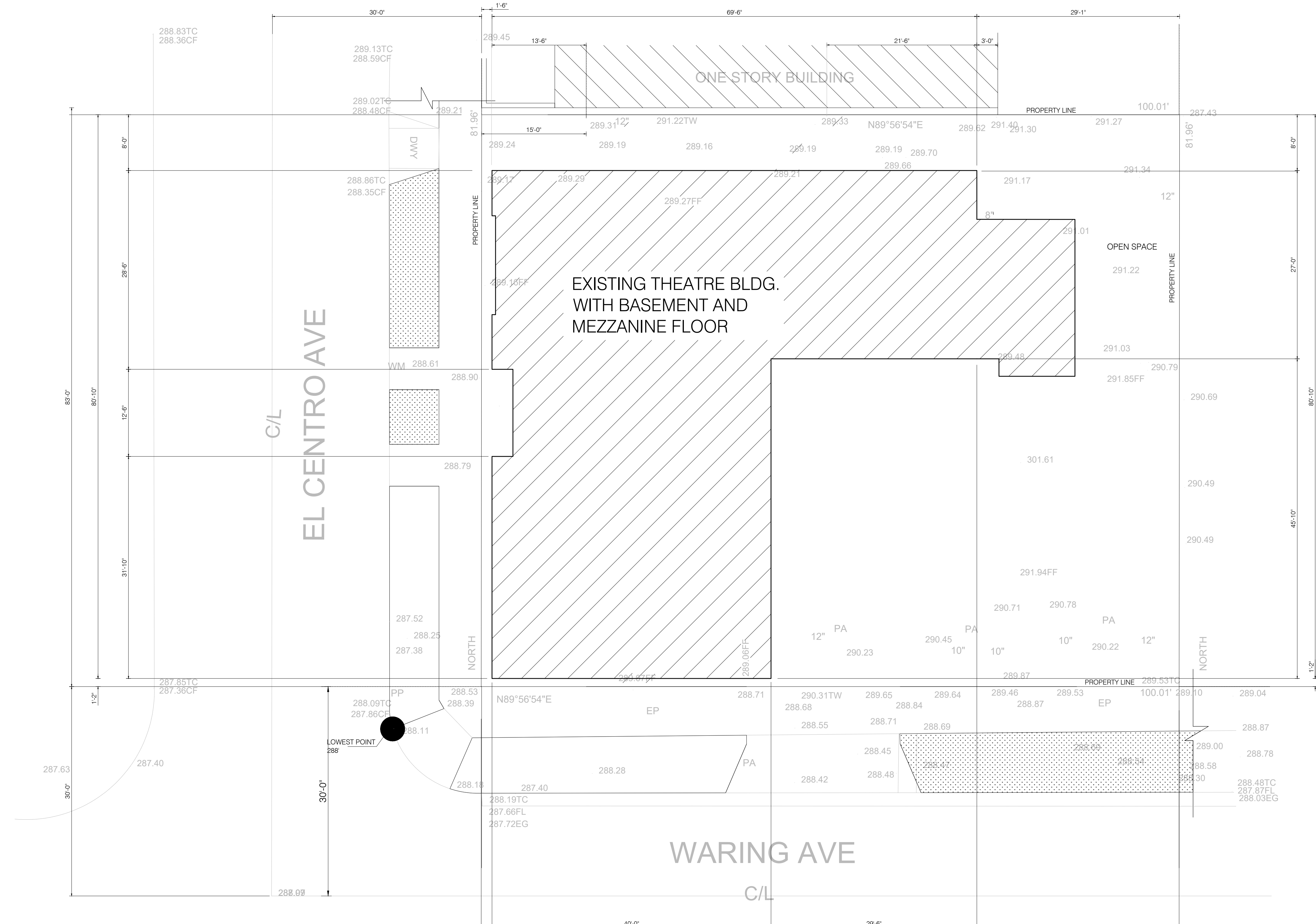
REVISION:

NO.	DATE	BY
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-	-	-
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SCALE: 1/8"=1'-0"
DESIGN & DRAWN: FMI
DATE: 02.01.21
JOB NUMBER:

SHEET

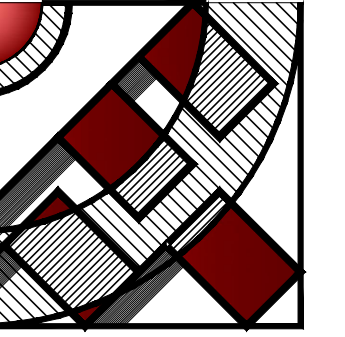
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SITE PLAN
SCALE: 1/8"= 1'-0"

SITE PLAN KEY NOTES

- | | | | |
|---|--|----|--|
| 1 | PROPERTY LINE | 8 | TRANSFORMER PAD |
| 2 | PERMEABLE PAVEMENT - WITH UNCOLORED CONCRETE W/ SMOOTH CEMENT FINISH | 9 | RETAINING WALL |
| 3 | LANDSCAPE | 10 | 34"-38" AFF . HANDRAILS |
| 4 | DRIVEWAY | 11 | HARDSCAPE W/ AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30 |
| 5 | BICYCLE PARKING (SHORT-TERM) | | |
| 6 | SIDEWALK | | |
| 7 | PATH OF TRAVEL | | |



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PROJECT :

800 NORTH EL CENTRO AVE,
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SHEET TITLE:

FIRST FLOOR PLAN

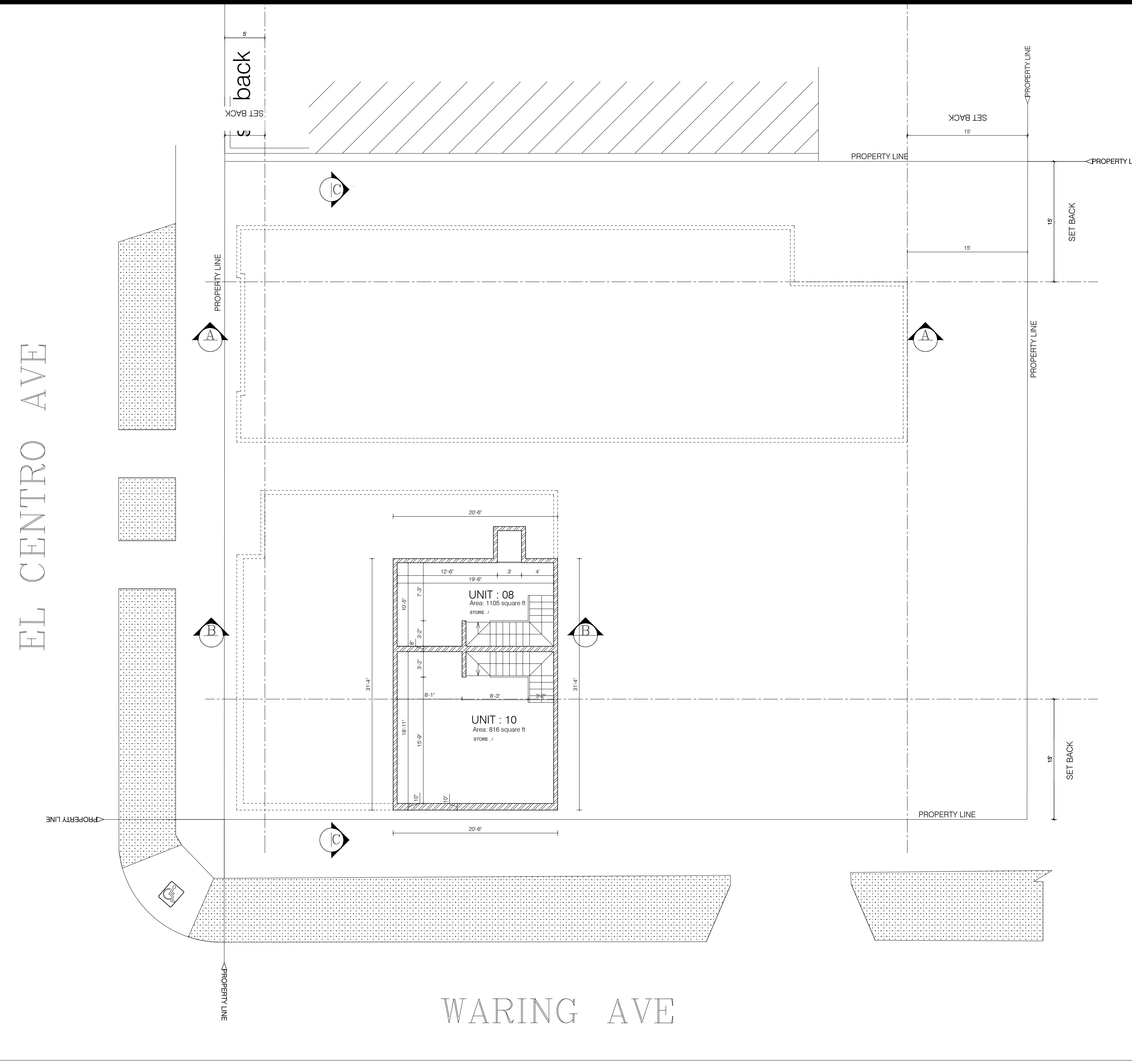
REVISION:

NO.	DATE	BY
-	-	-
-	-	-
-	-	-
-	-	-

SCALE: 1/8"=1'-0"
 DESIGN & DRAWN: FMI
 DATE: 01.12.21
 JOB NUMBER:

SHEET

A-2.0



BASEMENT PLAN

SCALE: 1/8"= 1'-0"

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

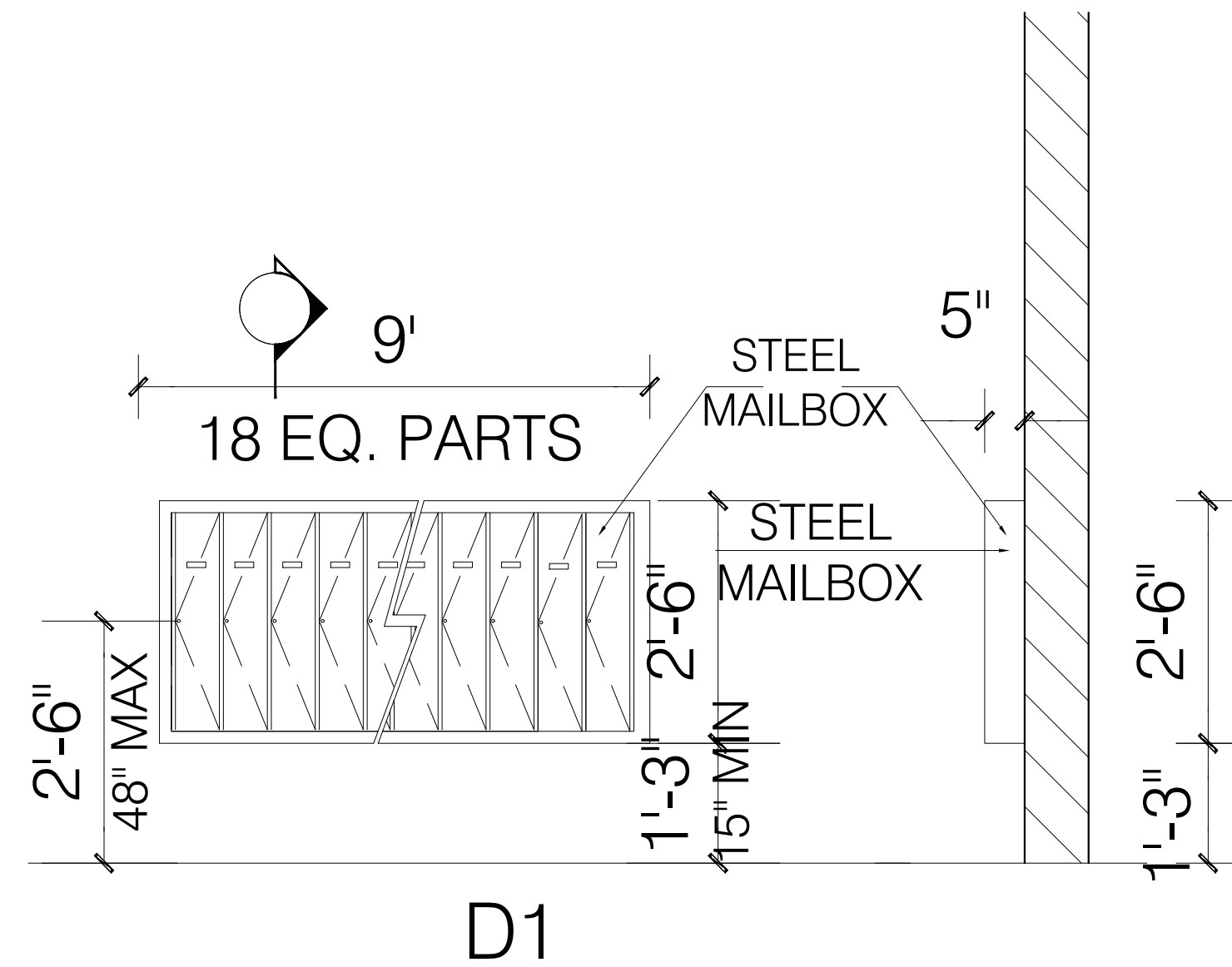
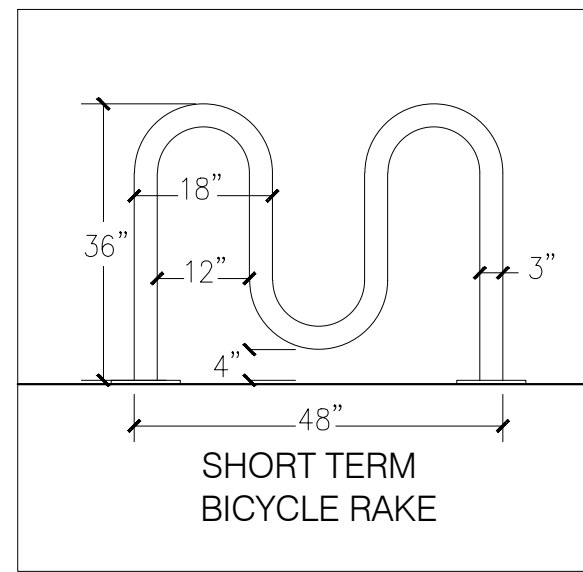
6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" X 30" CLEAR FLOR SPACE



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

W/D:
 - WASHER AND DRYER SHALL BE FRONT LOAD
 (if center is provided, shall be at 34" max. height with
 27" min. knee clear at 19" min. deep, typical)
 COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
 - USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
 - BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVDIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOWIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
 - KITCHEN COUNTER MATERIAL IS GRANITE STONE.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

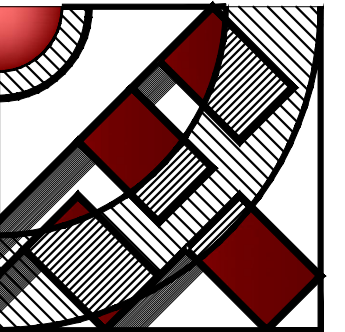
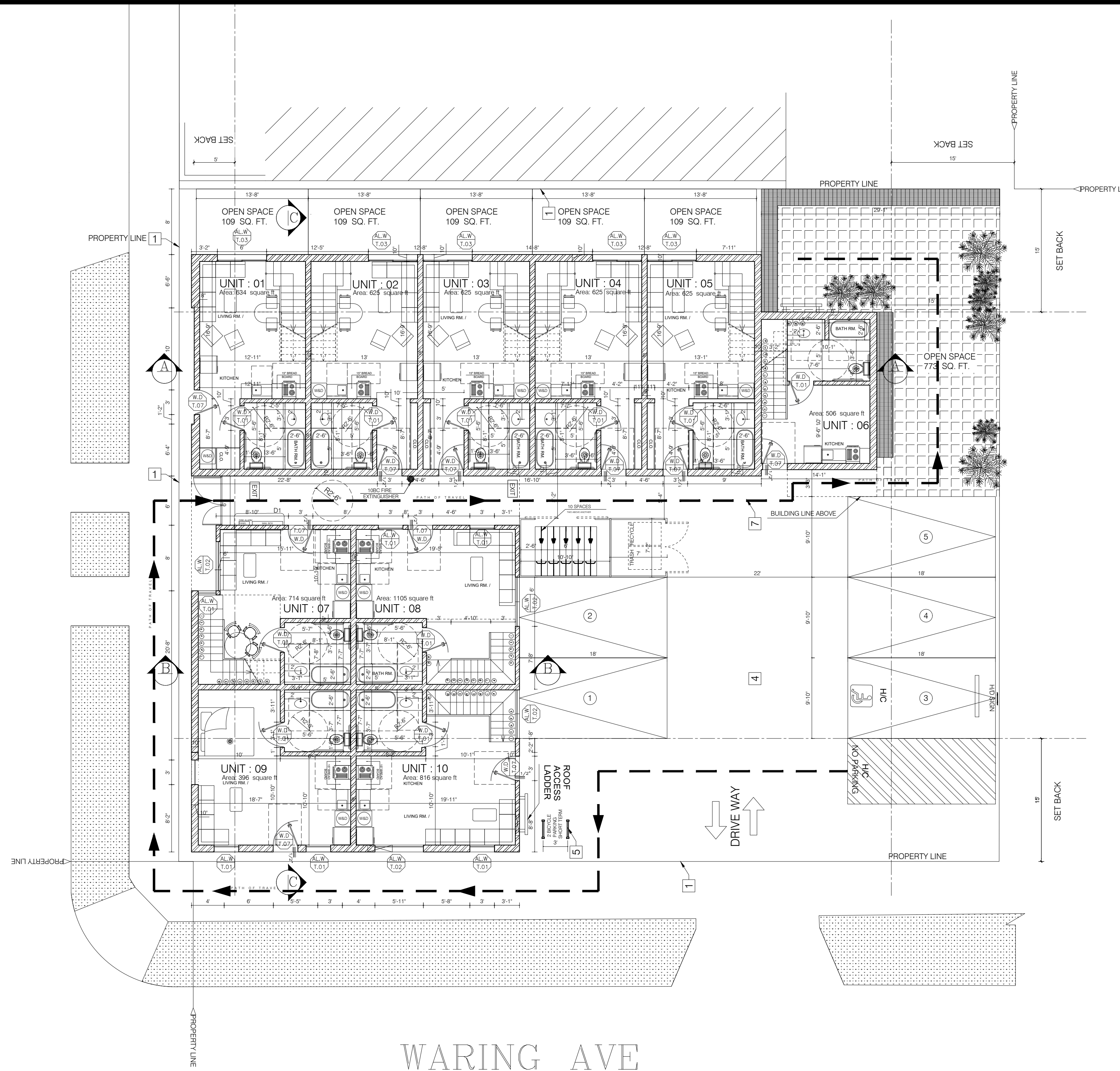
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GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" X 30" CLEAR FLOR SPACE



FMI
 DESIGN & ENG.
 CONSTRUCTION.

19730 VENTURA BLVD. #5
 WOODLAND HILLS, CA 91364
 TEL: (818) 932-0393 FAX: (818) 932-0419

NOTICE:
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OWNER :

RAMI BEMMOSHE
 4615 WINNETKA CIR, WOODLAND HILLS,
 CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
 LOS ANGELES, CA 90038

SHEET TITLE:

2ND FLOOR PLAN

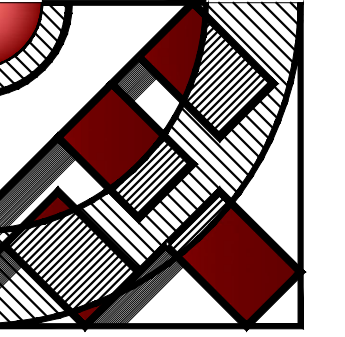
REVISION:

NO.	DATE	BY

SCALE: 1/8" = 1'-0"
 DESIGN & DRAWN: FMI
 DATE: 01.12.21
 JOB NUMBER:

SHEET

A-2.1



FMI
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19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

3RD. FLOOR PLAN

REVISION:

NO.	DATE	BY
-	-	-
-	-	-
-	-	-
-	-	-

SCALE: 1/8"= 1'-0"
DESIGN & DRAWN: FMI
DATE: 01.12.21
JOB NUMBER:

SHEET

A-2.2

SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A.5, CHART NO. 5.*
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 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
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GRN NOTES:

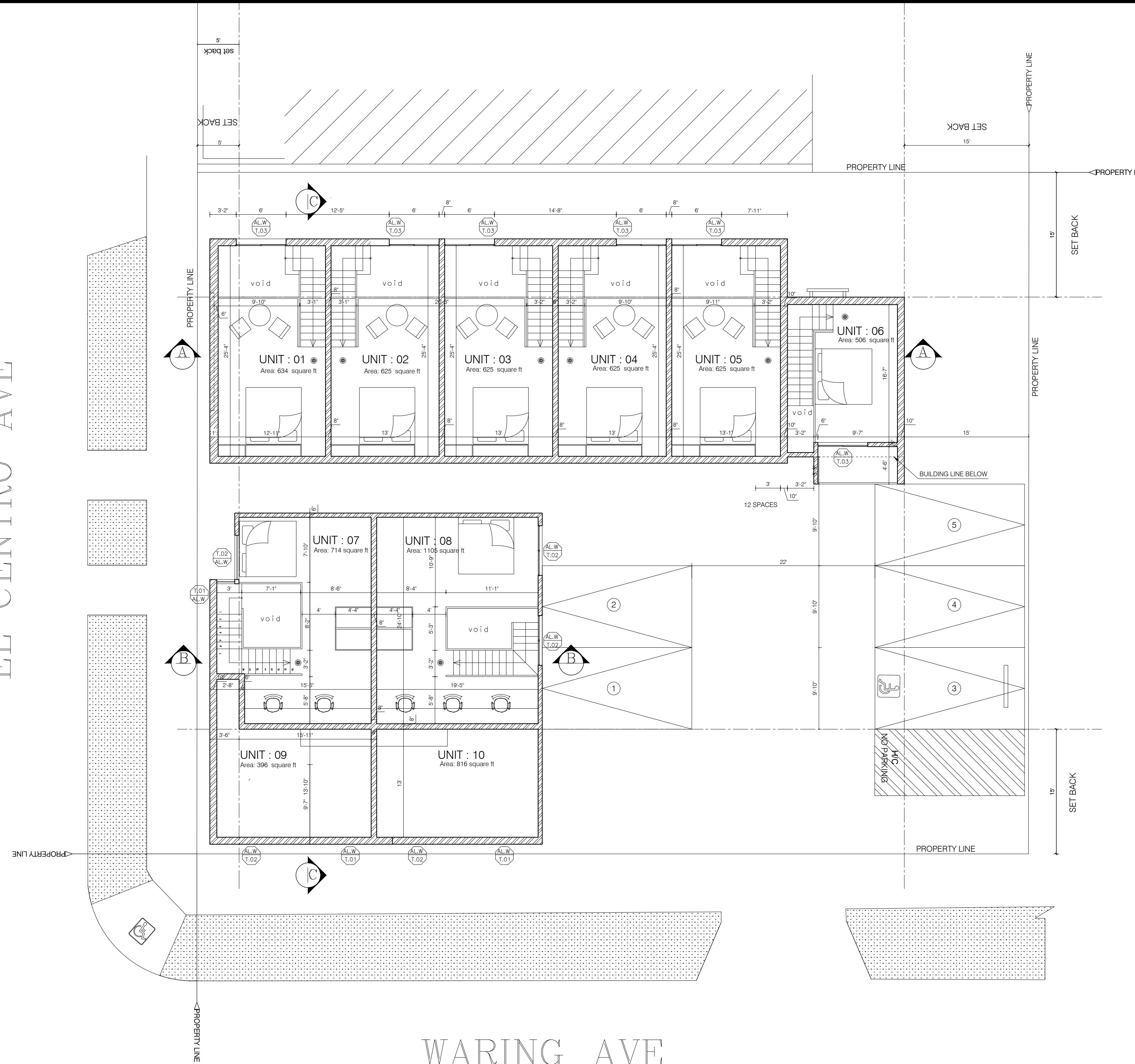
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

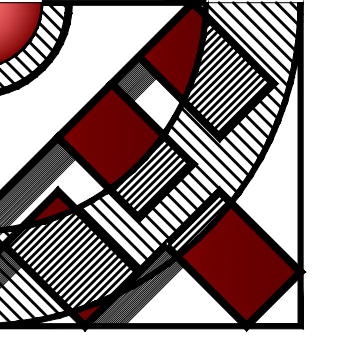
LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" X30" CLEAR FLOR SPACE

EL CENTRO AVE

WARING AVE





FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

800 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

SHEET TITLE:

EXISTING & DEMOLITION PLAN

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8" = 1'-0"

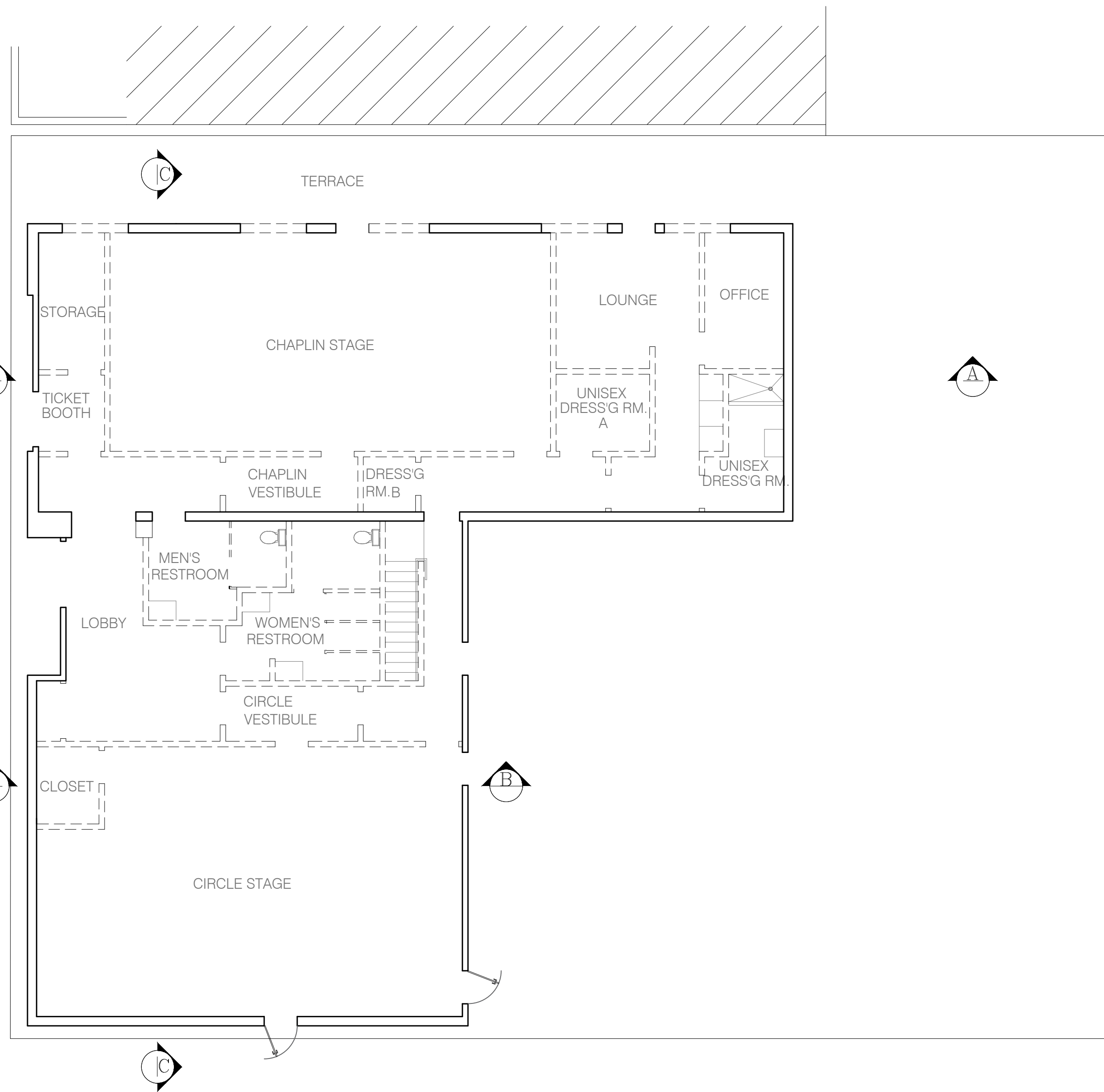
DESIGN & DRAWN: FMI

DATE: 02.01.21

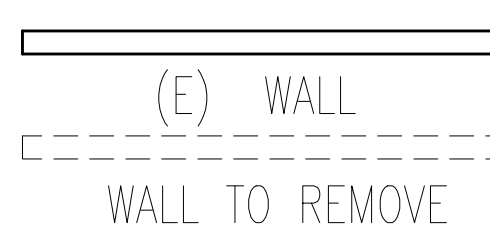
JOB NUMBER:

SHEET

A-2.3



LEGEND



FIRST FLOOR PLAN:

SOLID LINE: EXISTING PLAN
DASHED LINE: DEMOLITION PLAN
LINE WITH (E): WALL TO REMOVE

EXISTING & DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

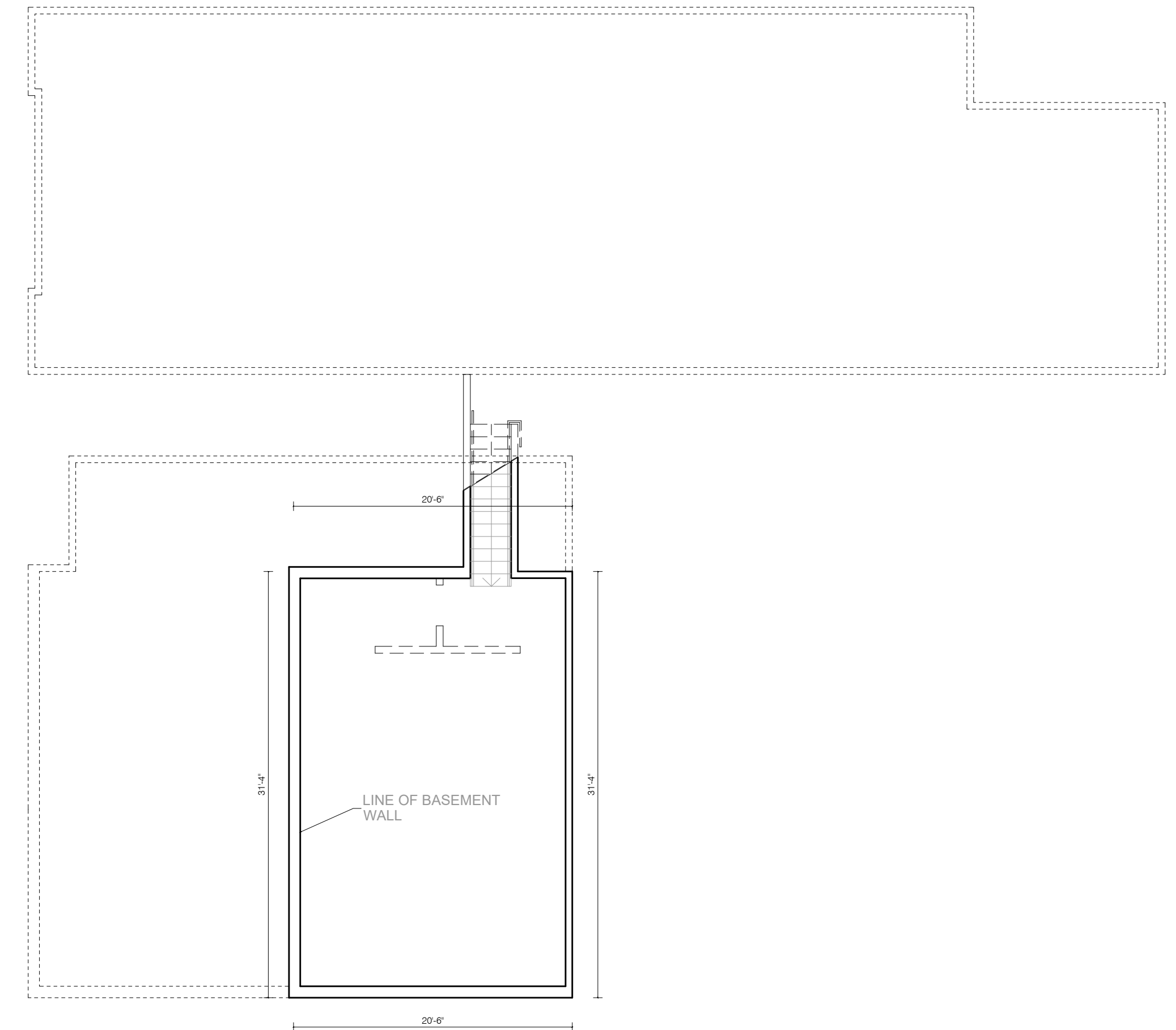
NOTES:

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- USEABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
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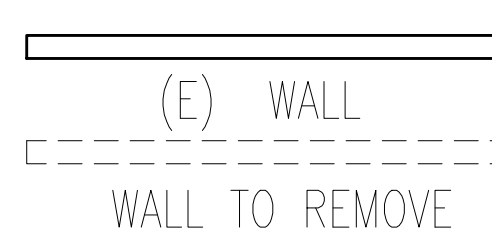
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GRN NOTES:

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LEGEND

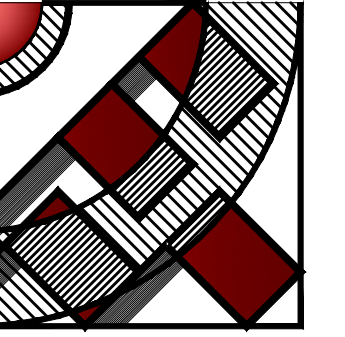


BASEMENT PLAN:

SOLID LINE: EXISTING PLAN
DASHED LINE: DEMOLITION PLAN
LINE WITH (E): WALL TO REMOVE

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
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- CARBON MONOXIDE DETECTOR
- 48" X 30" CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

800 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

SHEET TITLE:

FIRST FLOOR PLAN (PROPOSED + EXISTING)

REVISION:

NO. DATE BY

- - -

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SCALE: 1/8"= 1'-0"

DESIGN & DRAWN: FMI

DATE: 02.01.21

JOB NUMBER:

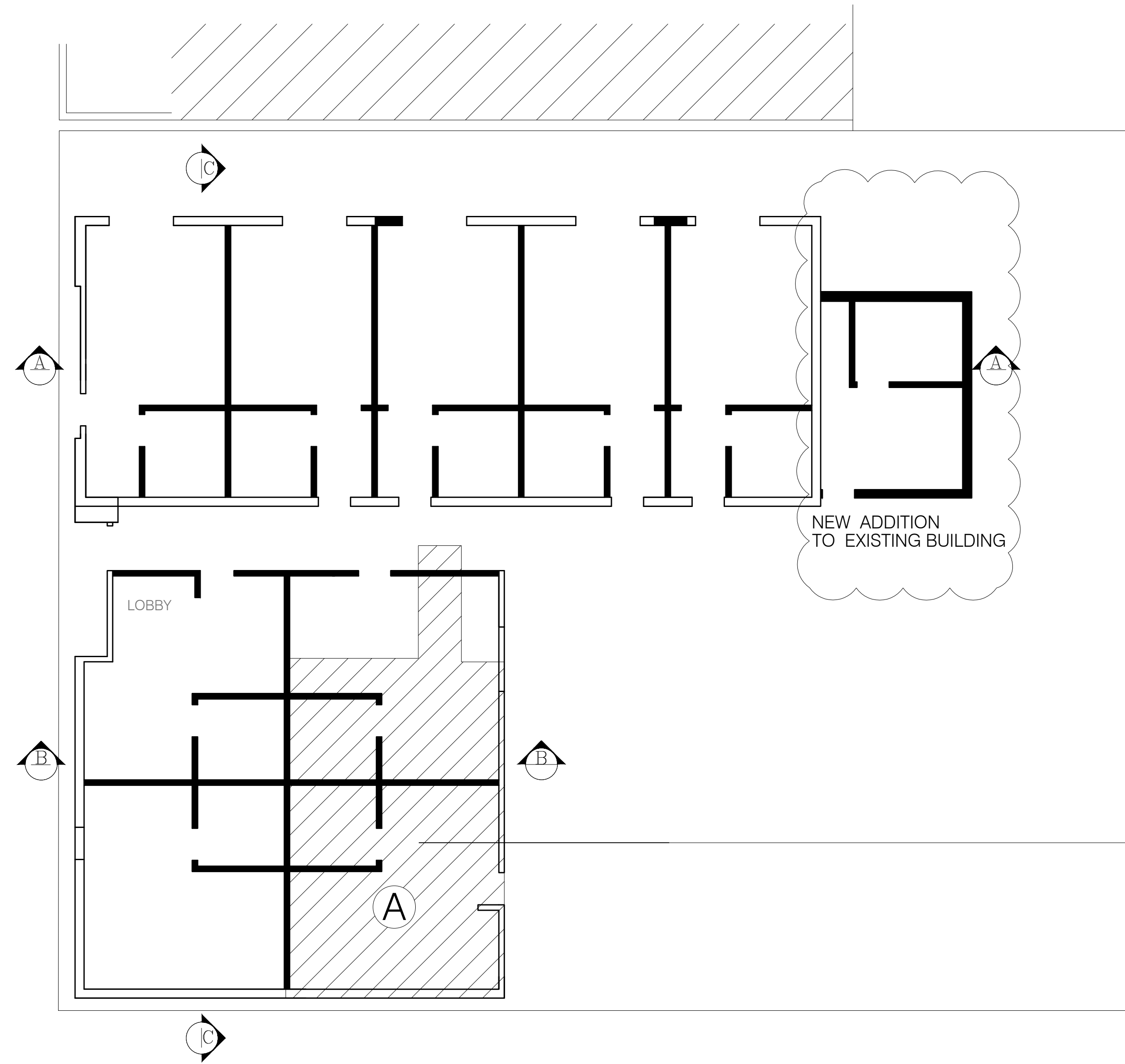
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- - -

SHEET

A-2.3 a



LEGEND

(E) WALL

(N) WALL

FIRST FLOOR PLAN:

EXISTING PLAN

PROPOSED PLAN

PROPOSED PLAN

SCALE: 1/8"= 1'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*

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- KITCHEN COUNTER MATERIAL IS GRANITE STONE.

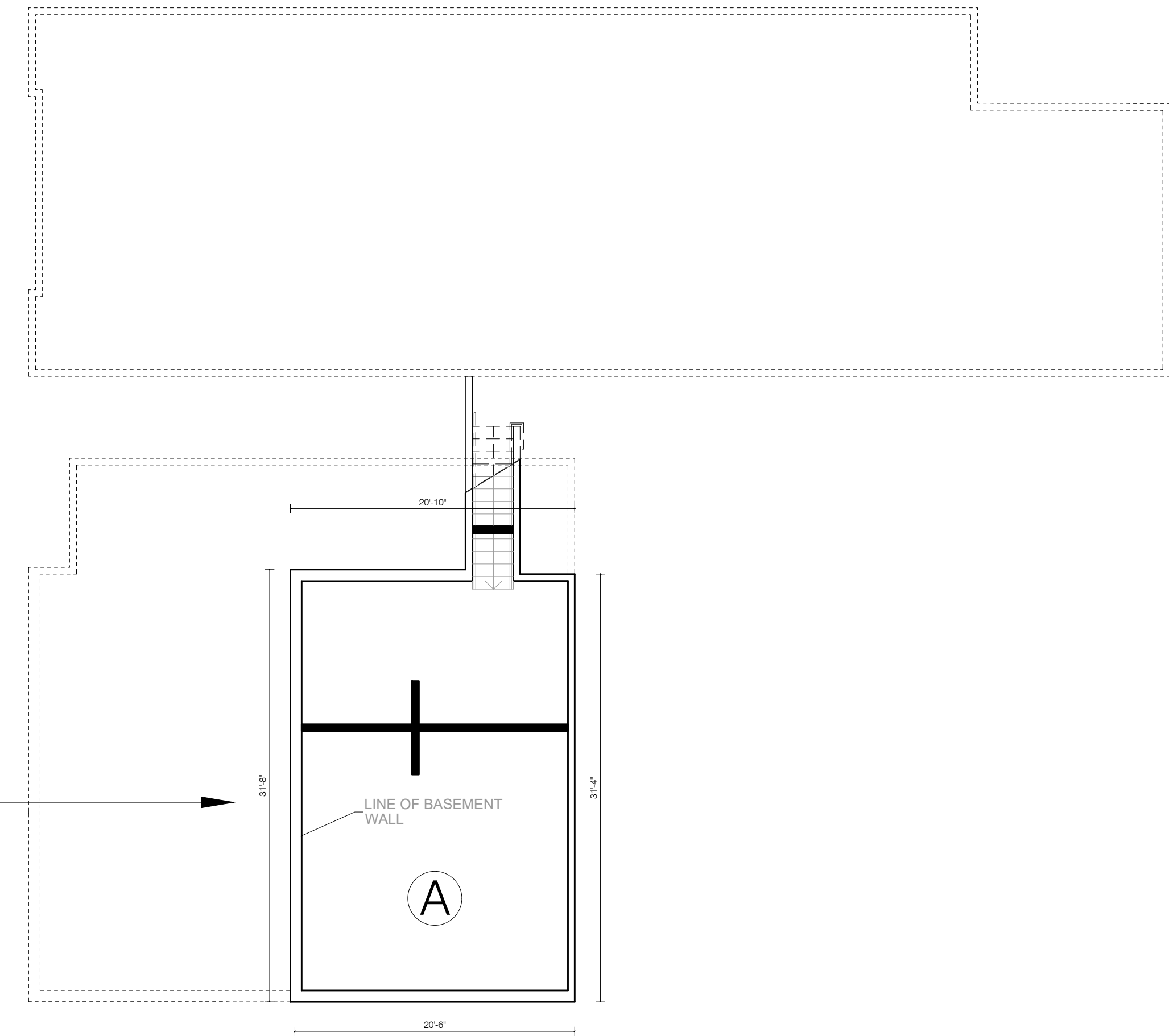
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GRN NOTES:

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- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



LEGEND

(E) WALL

(N) WALL

BASEMENT PLAN:

EXISTING PLAN

PROPOSED PLAN

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)

- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP

- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

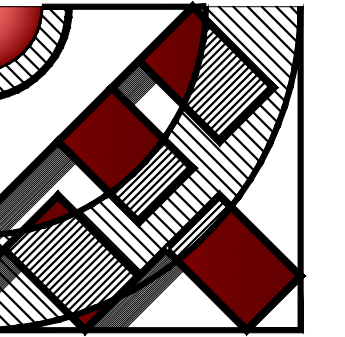
- GROUND- FAULT CIRCUIT-INTERUPTER

- TEMPERED GLASS

- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER

- CARBON MONOXIDE DETECTOR

- 48" X 30" CLEAR FLOR SPACE



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DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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CONSTRUCTION.

OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4" = 1'-0"

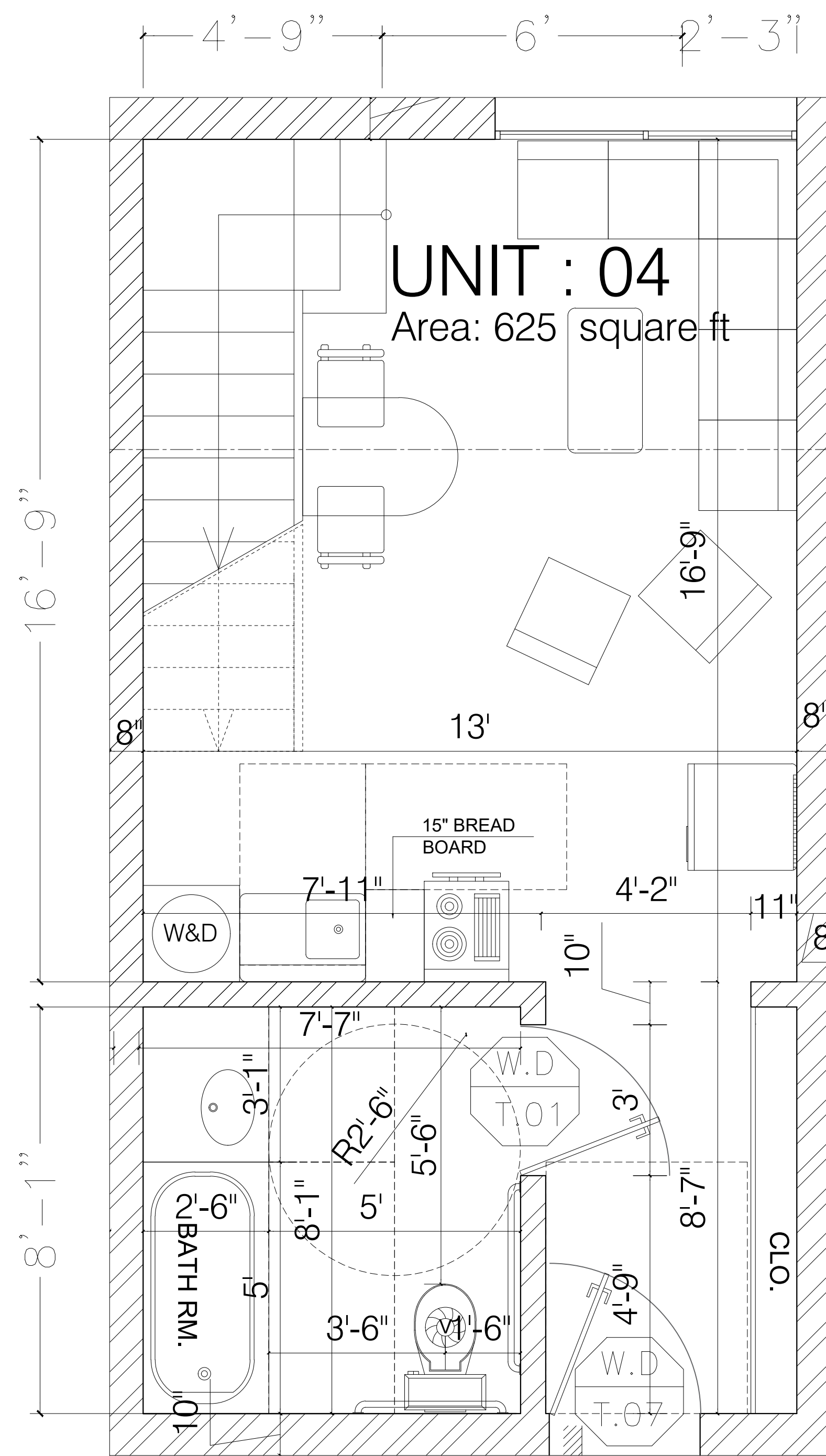
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DATE: 01.12.21

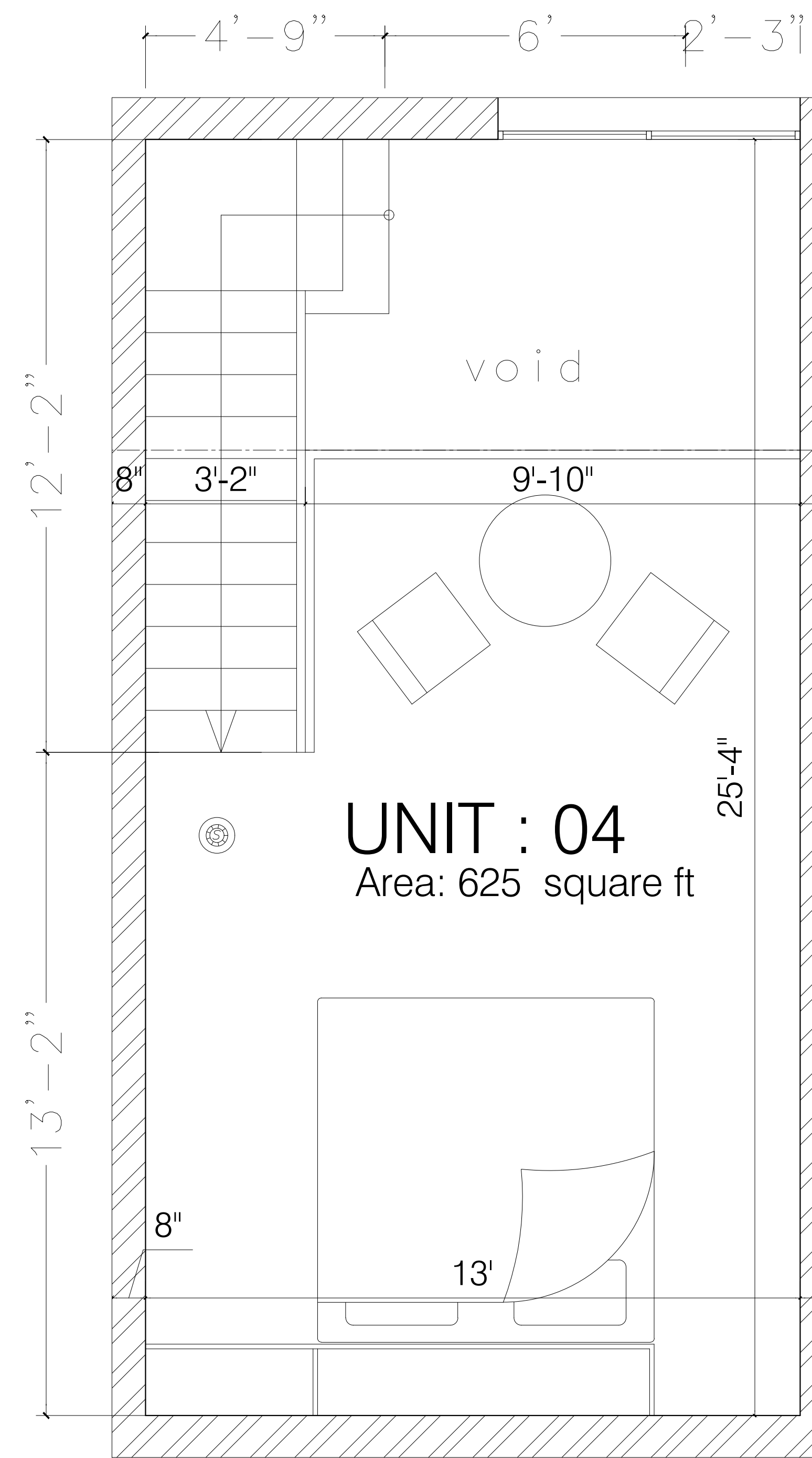
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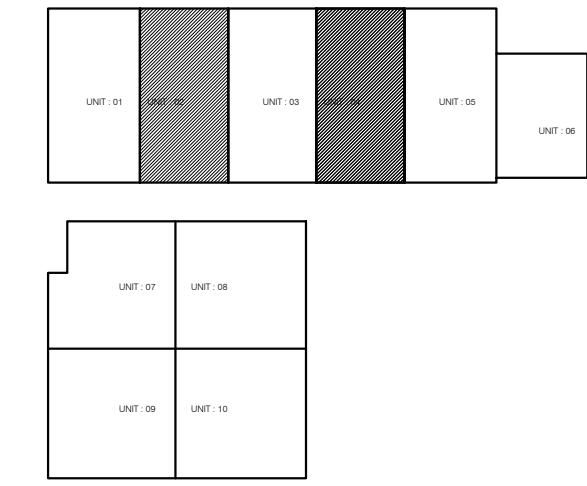
A-2.5



FIRST FLOOR PLAN



SECOND FLOOR PLAN



KEY PLAN

UNIT : 04
UNIT : 02

SCALE: 1/4" = 1'-0"

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANETE STON.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

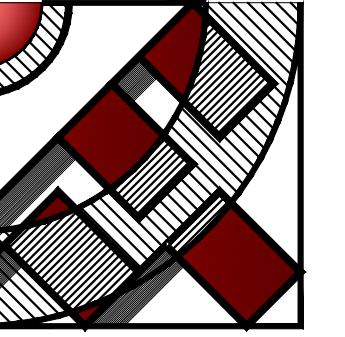
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48"x30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"x54" CLEAR FLOOR SPACE
- D 42" 54" 54"x42" CLEAR FLOOR SPACE



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CONSTRUCTION

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WOODLAND HILLS, CA 91364
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CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

- - -

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SCALE: 1/4" = 1'-0"

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

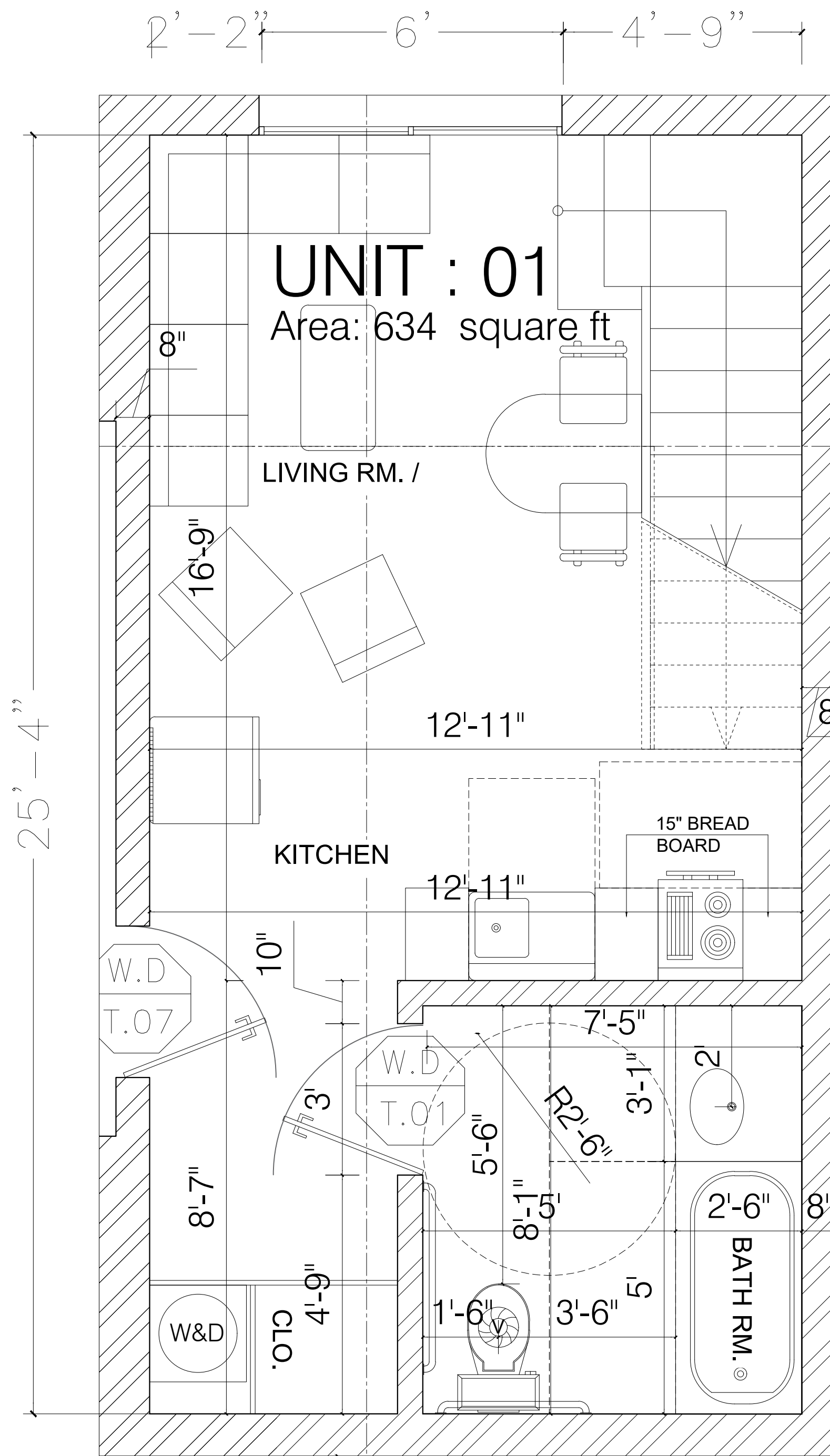
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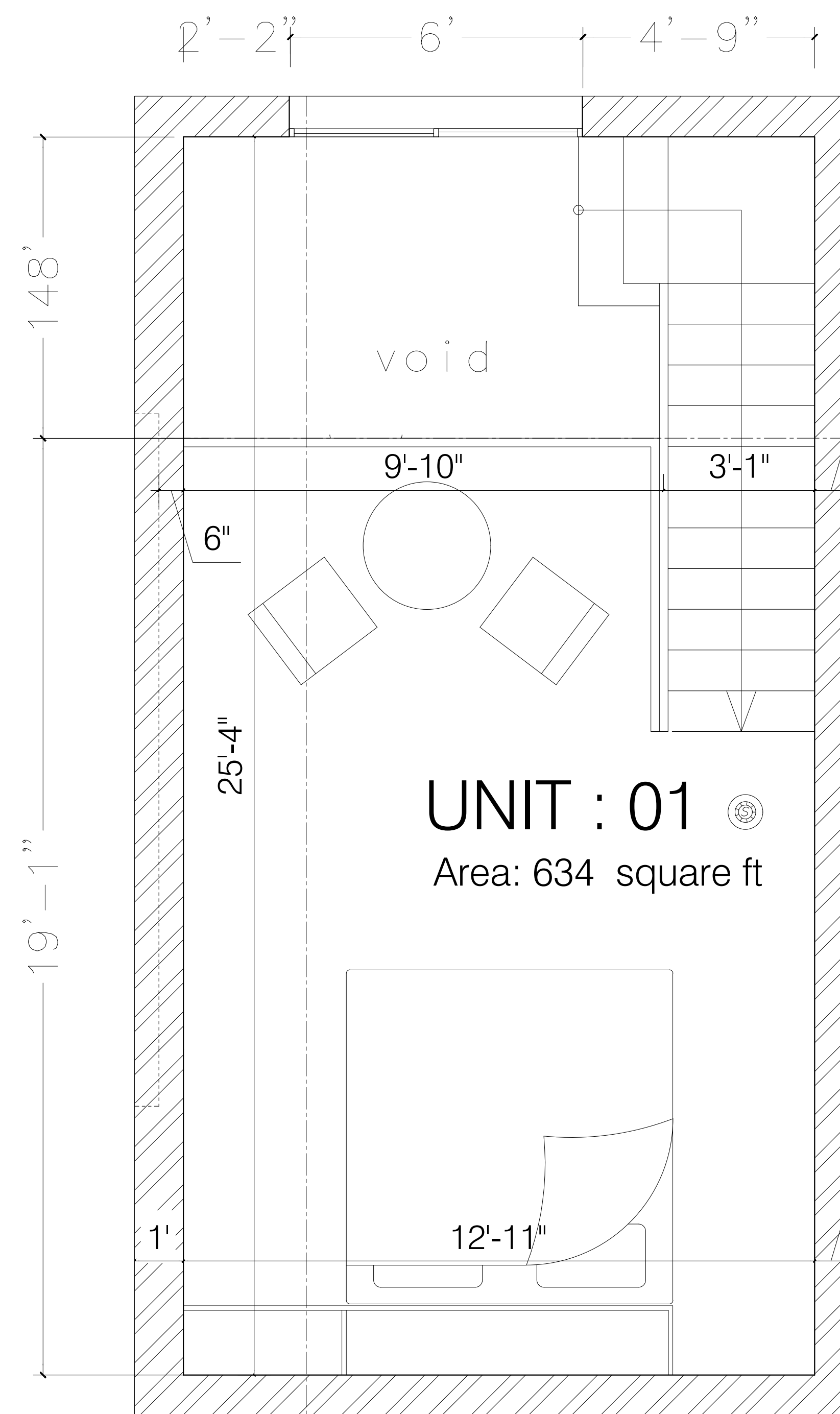
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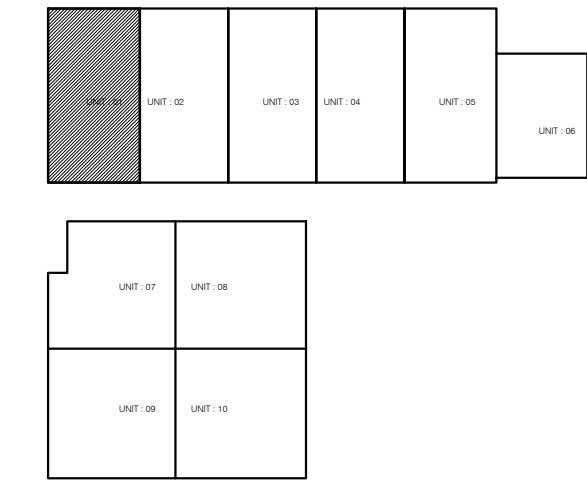
A-2.6



FIRST FLOOR PLAN



SECOND FLOOR PLAN



KEY PLAN

UNIT : 01

SCALE: 1/4" = 1'-0"

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANETE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

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2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANUEVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

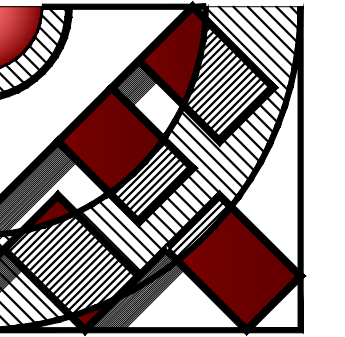
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48"X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"X54" CLEAR FLOOR SPACE
- D 42" 54" 54"X42" CLEAR FLOOR SPACE



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CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4" = 1'-0"

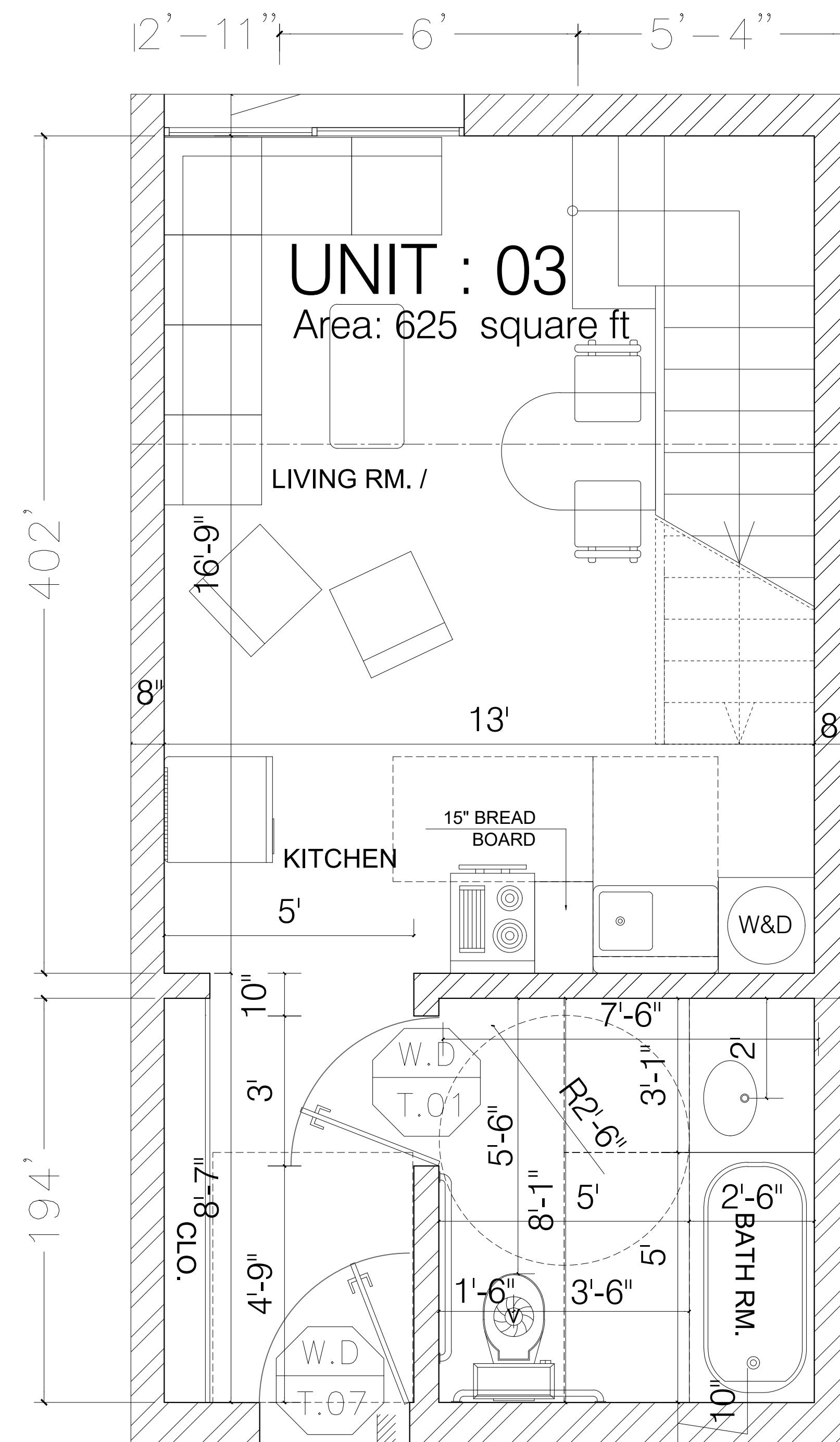
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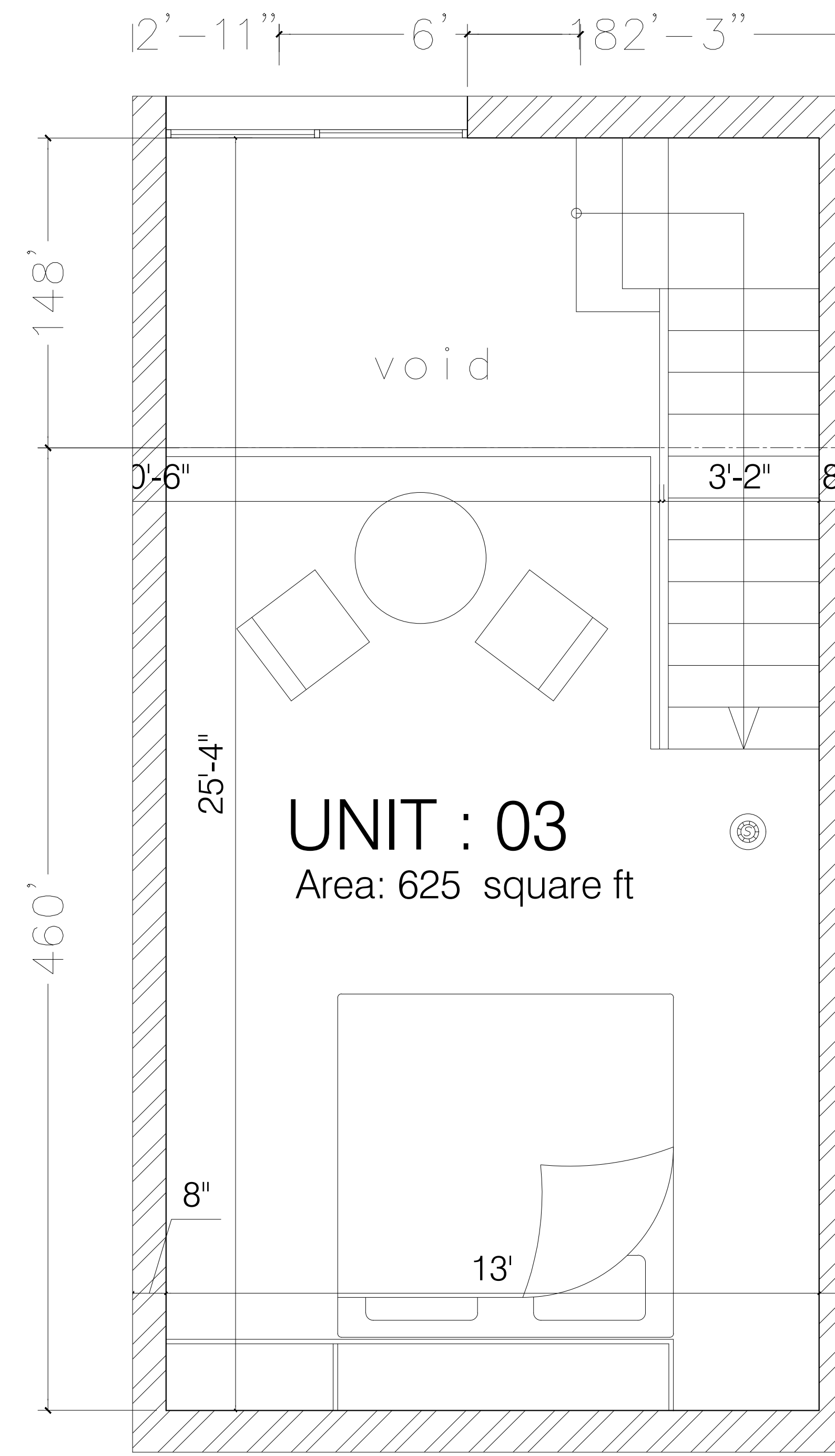
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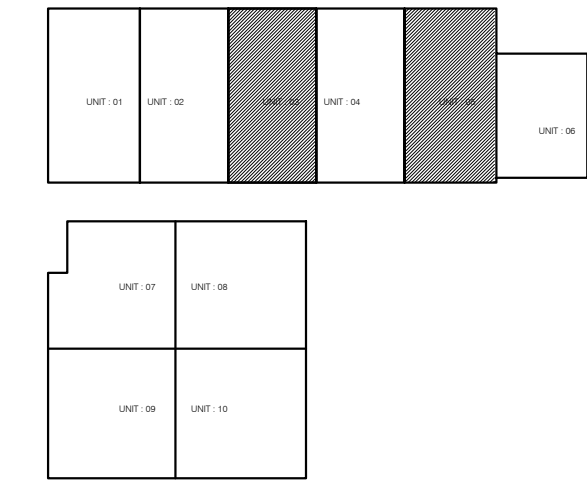
A-2.7



FIRST FLOOR PLAN



SECOND FLOOR PLAN



KEY PLAN

UNIT : 03
UNIT : 05

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5."
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 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANUEVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

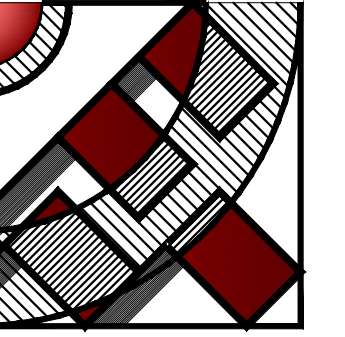
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LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
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- TWO HOUR RATED (CONCRETE BLOCK WALL)
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48"X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"X54" CLEAR FLOOR SPACE
- D 42" 54" 54"X42" CLEAR FLOOR SPACE



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SHEET TITLE:

LAYOUTS

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NO.	DATE	BY
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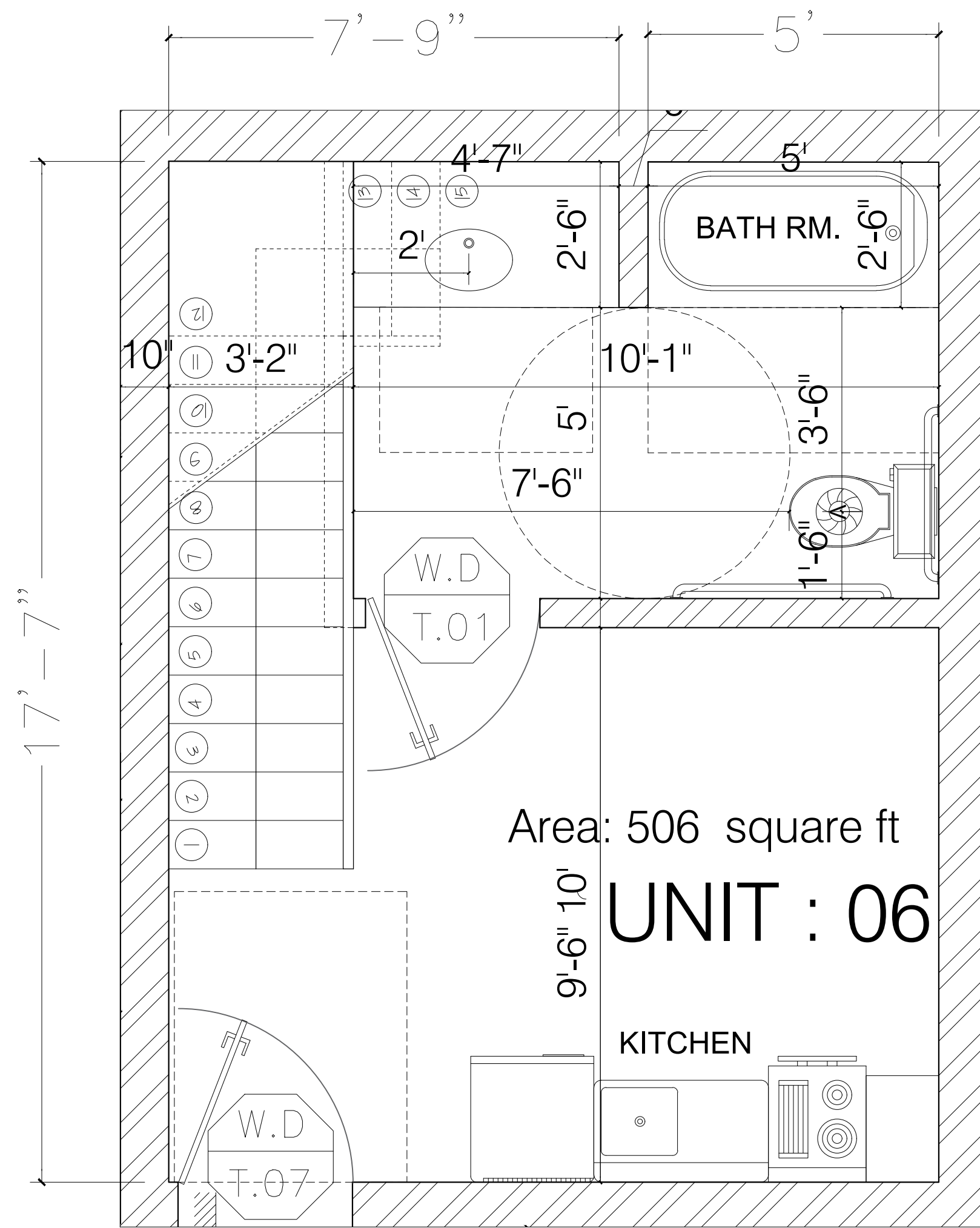
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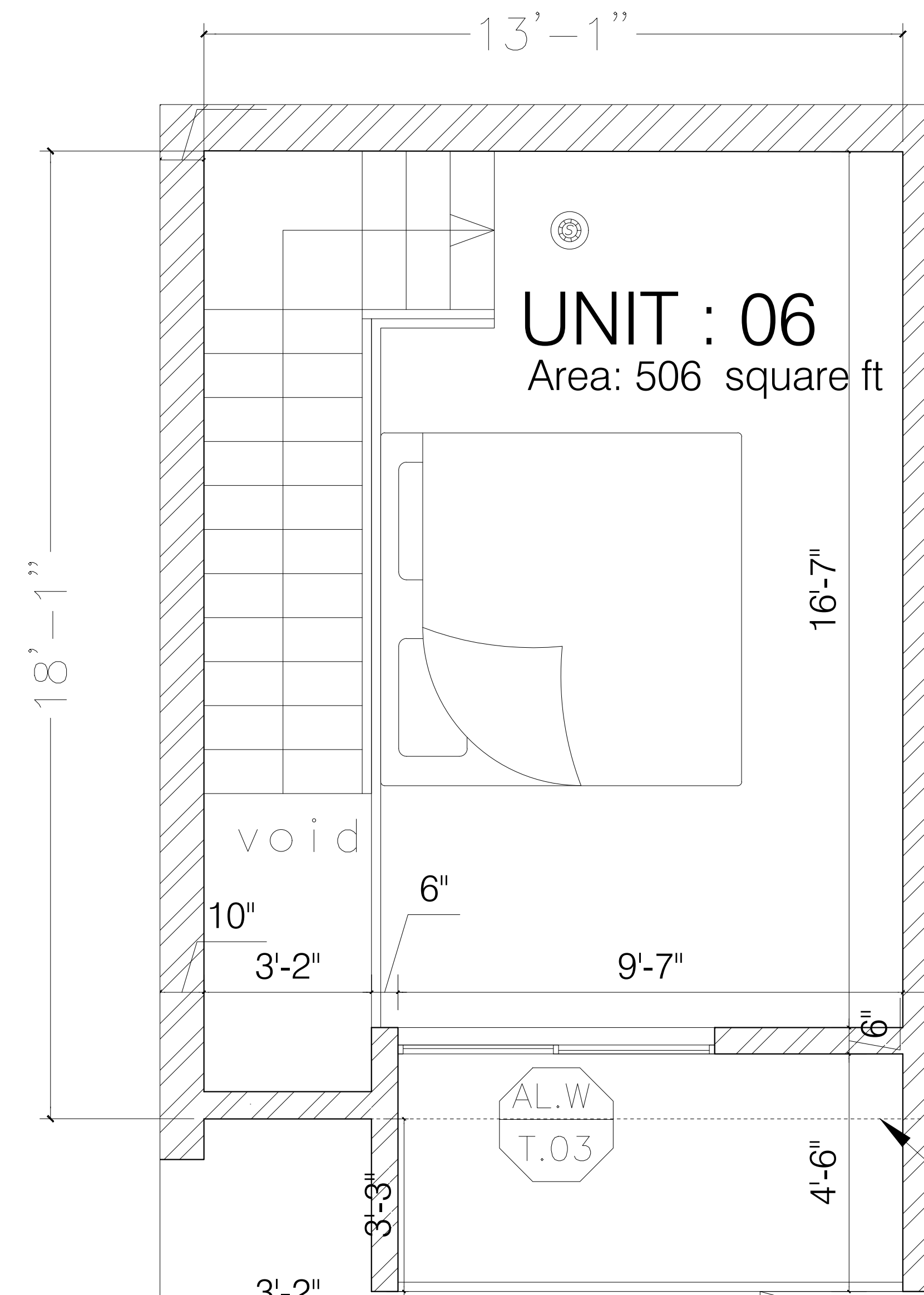
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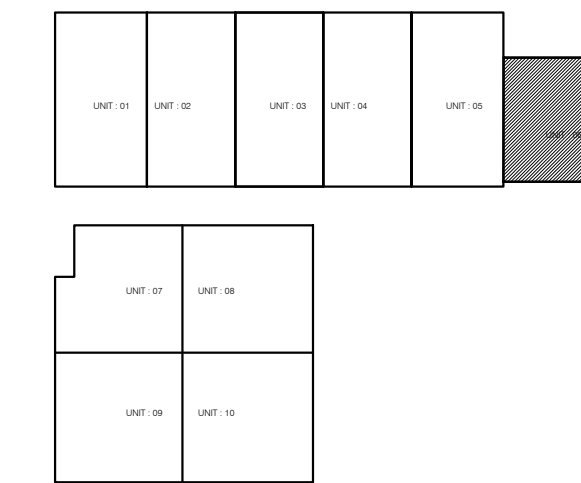
A-2.8



FIRST FLOOR PLAN



SECOND FLOOR PLAN



KEY PLAN

UNIT : 06

SCALE: 1/4"= 1'-0"

LAYOUT PLANS

SCALE: 1/4"= 1'-0"

NOTES:

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11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

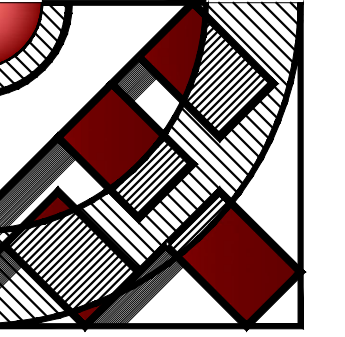
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4' MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30' x 48' 48"x30" CLEAR FLOOR SPACE
- B 15' 15" W. BREADBOARD
- C 54' x 60' 60"x54" CLEAR FLOOR SPACE
- D 42' x 54' 54"x42" CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

- - -

- - -

- - -

- - -

- - -

SCALE: 1/4" = 1'-0"

DESIGN & DRAWN: FMI

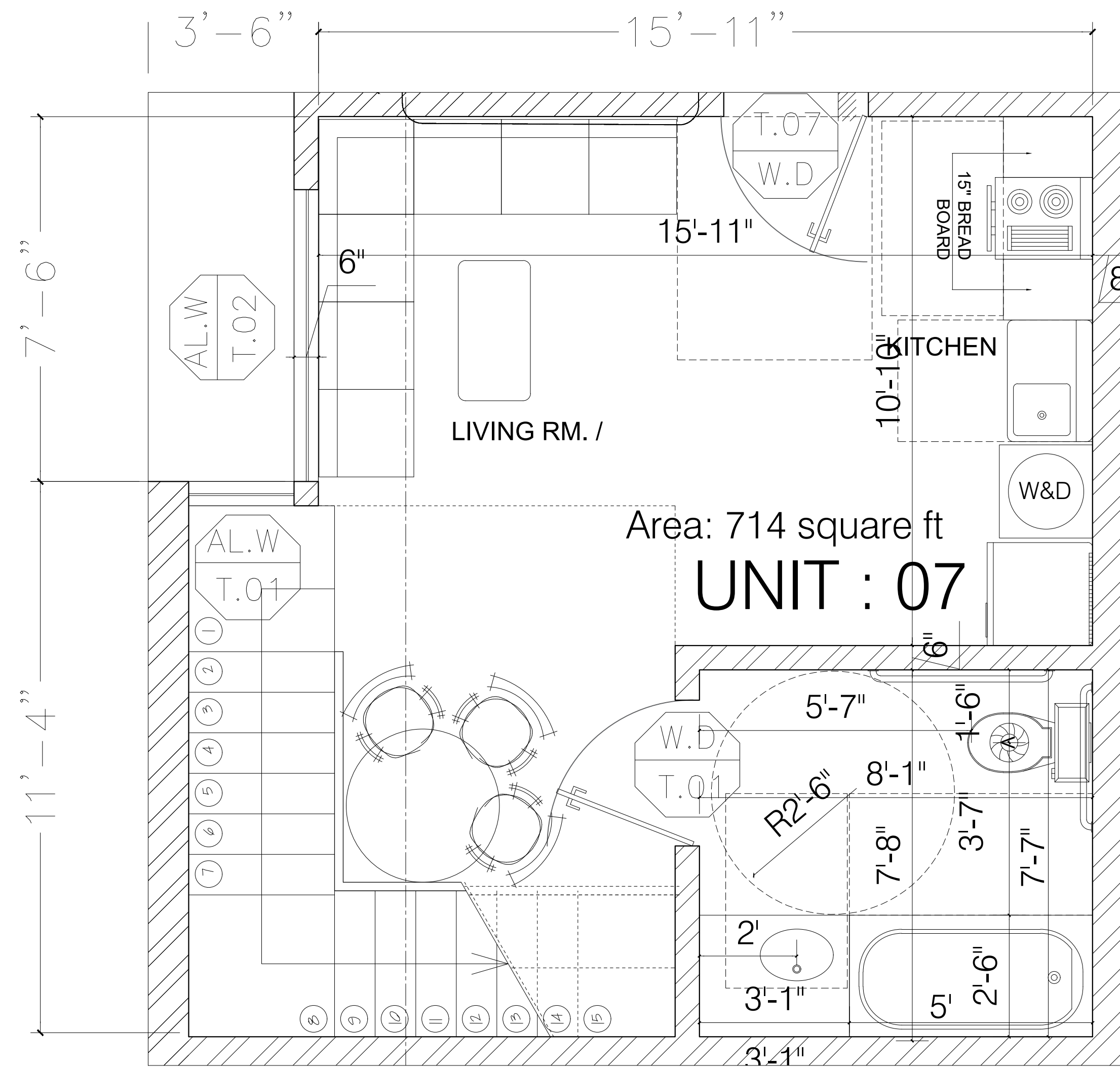
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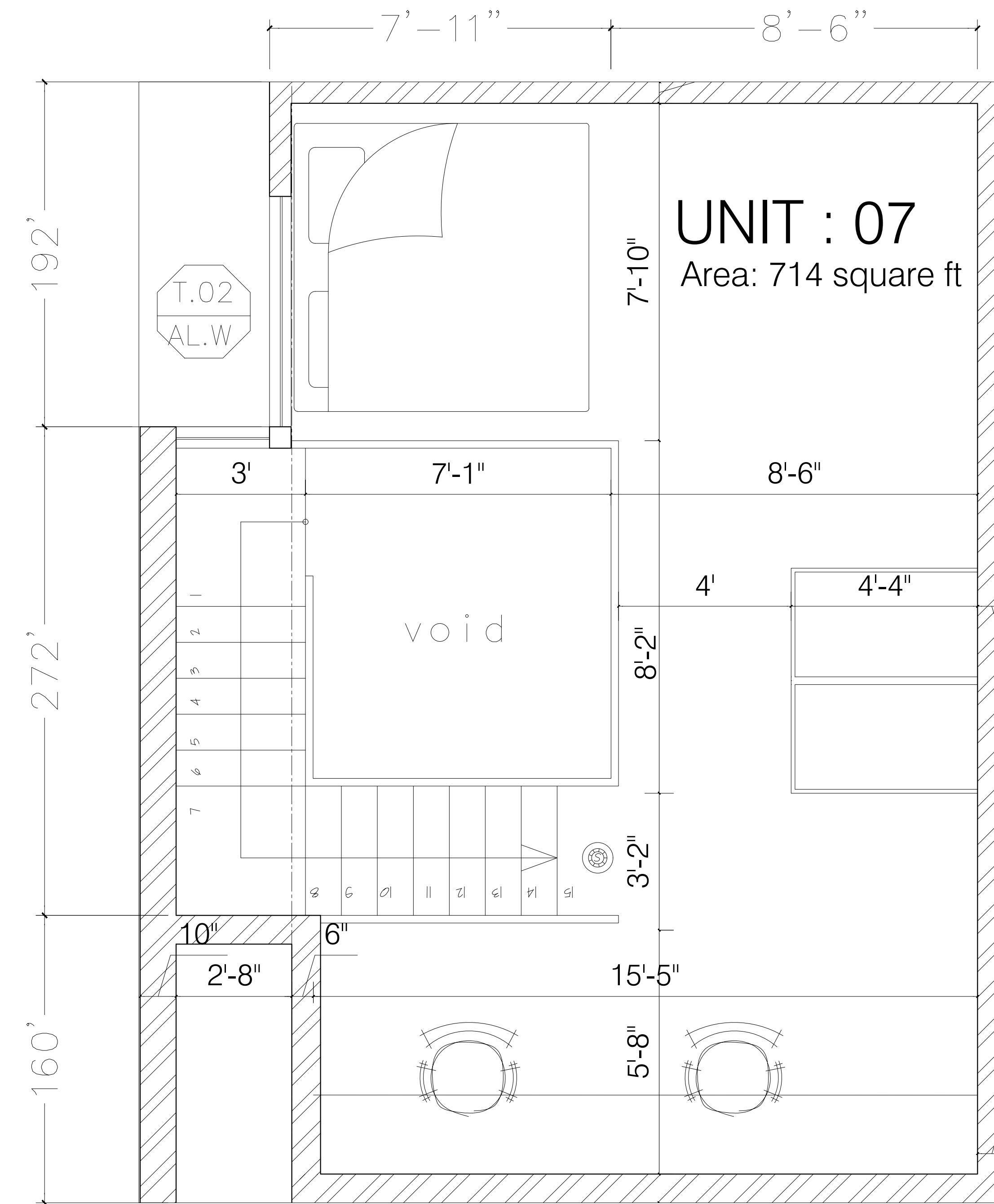
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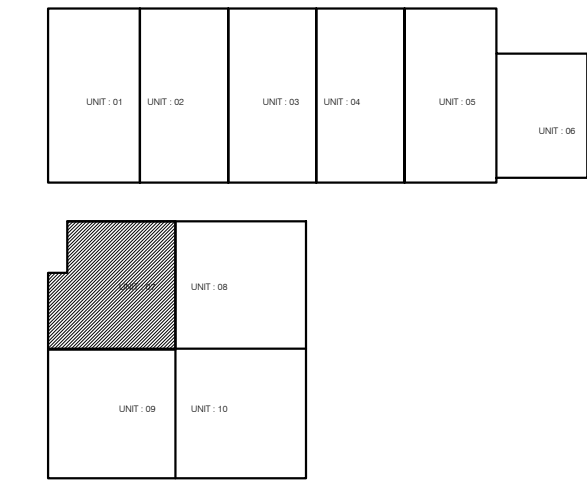
A-2.9



FIRST FLOOR PLAN



SECOND FLOOR PLAN



KEY PLAN
UNIT : 07
SCALE: 1/4" = 1'-0"

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOWIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANETE STON.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
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3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
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5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

- 6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
- 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
- 8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
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GRN NOTES:

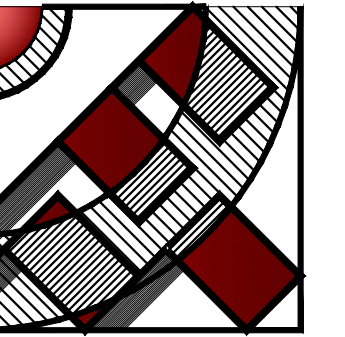
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- TEMPERED GLASS
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KEYNOTES :

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- D 42" 54" 54"X42" CLEAR FLOOR SPACE



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CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4"= 1'-0"

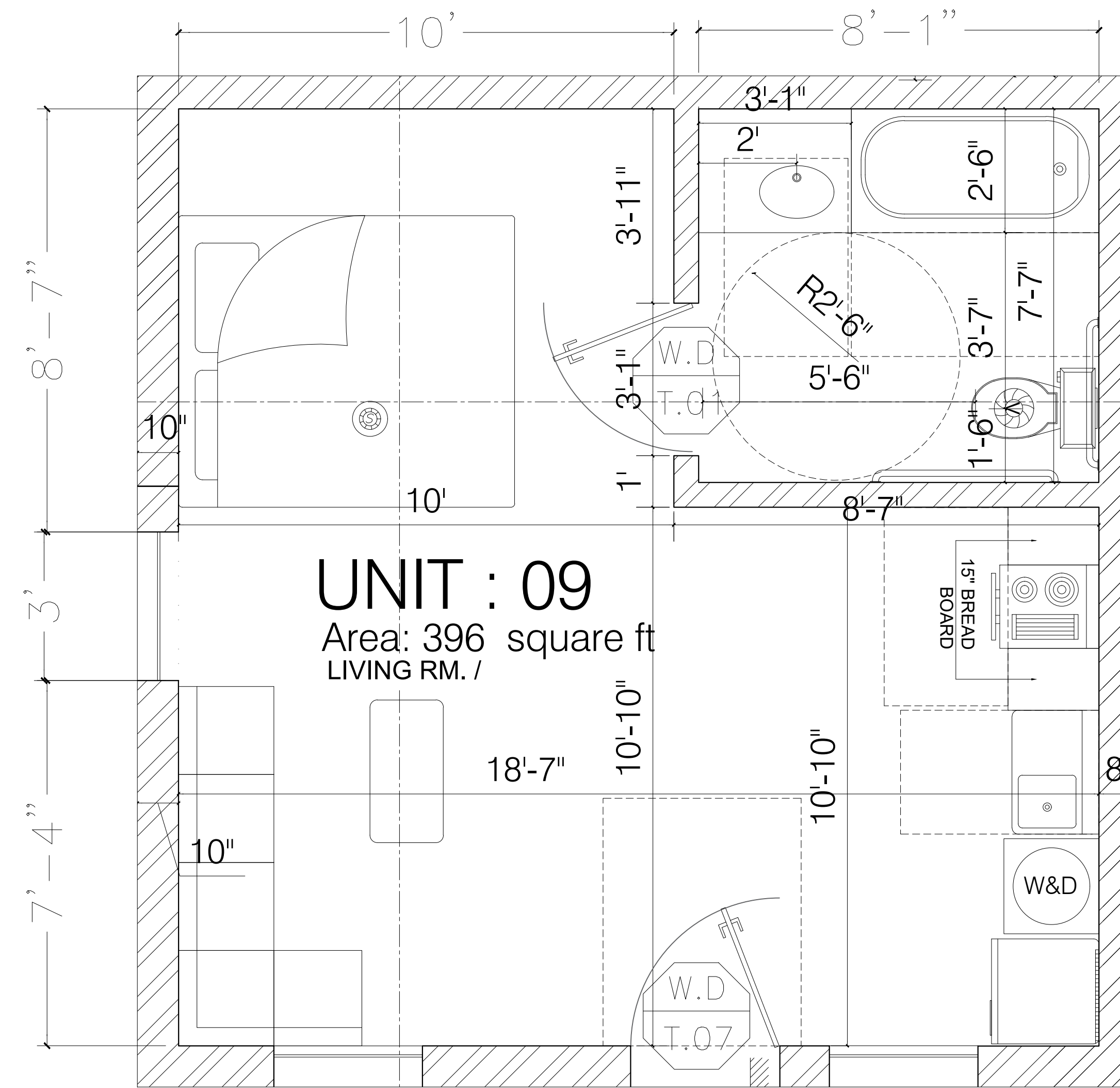
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DATE: 01.12.21

JOB NUMBER:

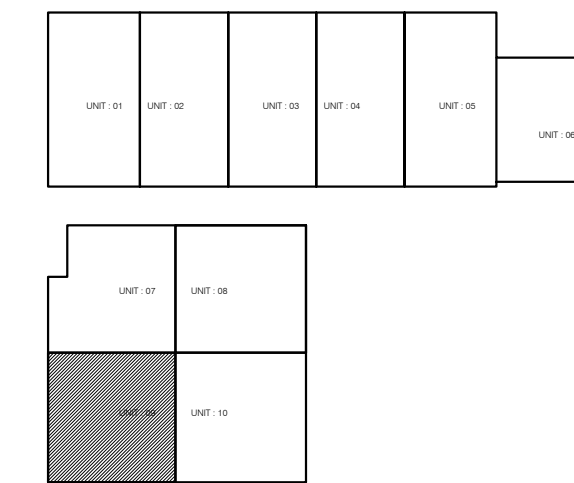
SHEET

A-2.11



UNIT : 09
Area: 396 square ft
LIVING RM. /

FIRST FLOOR PLAN



KEY PLAN

UNIT : 09
SCALE: 1/4"= 1'-0"

LAYOUT PLANS

SCALE: 1/4"= 1'-0"

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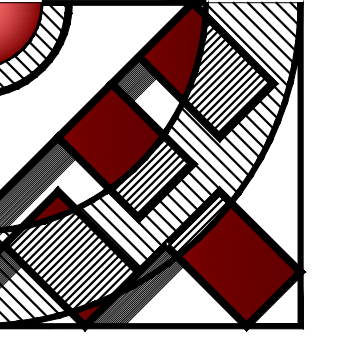
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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4" = 1'-0"

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

SHEET

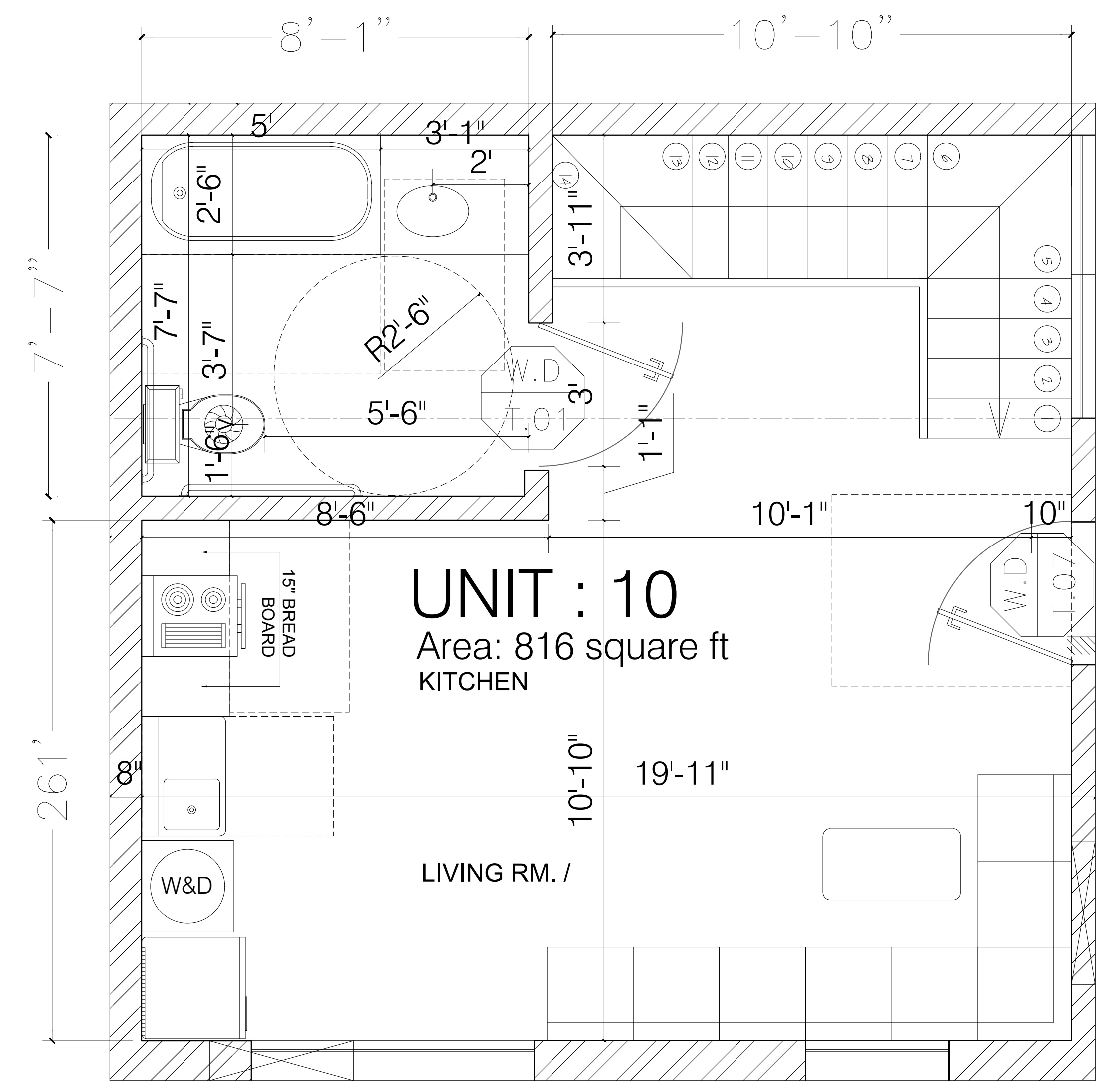
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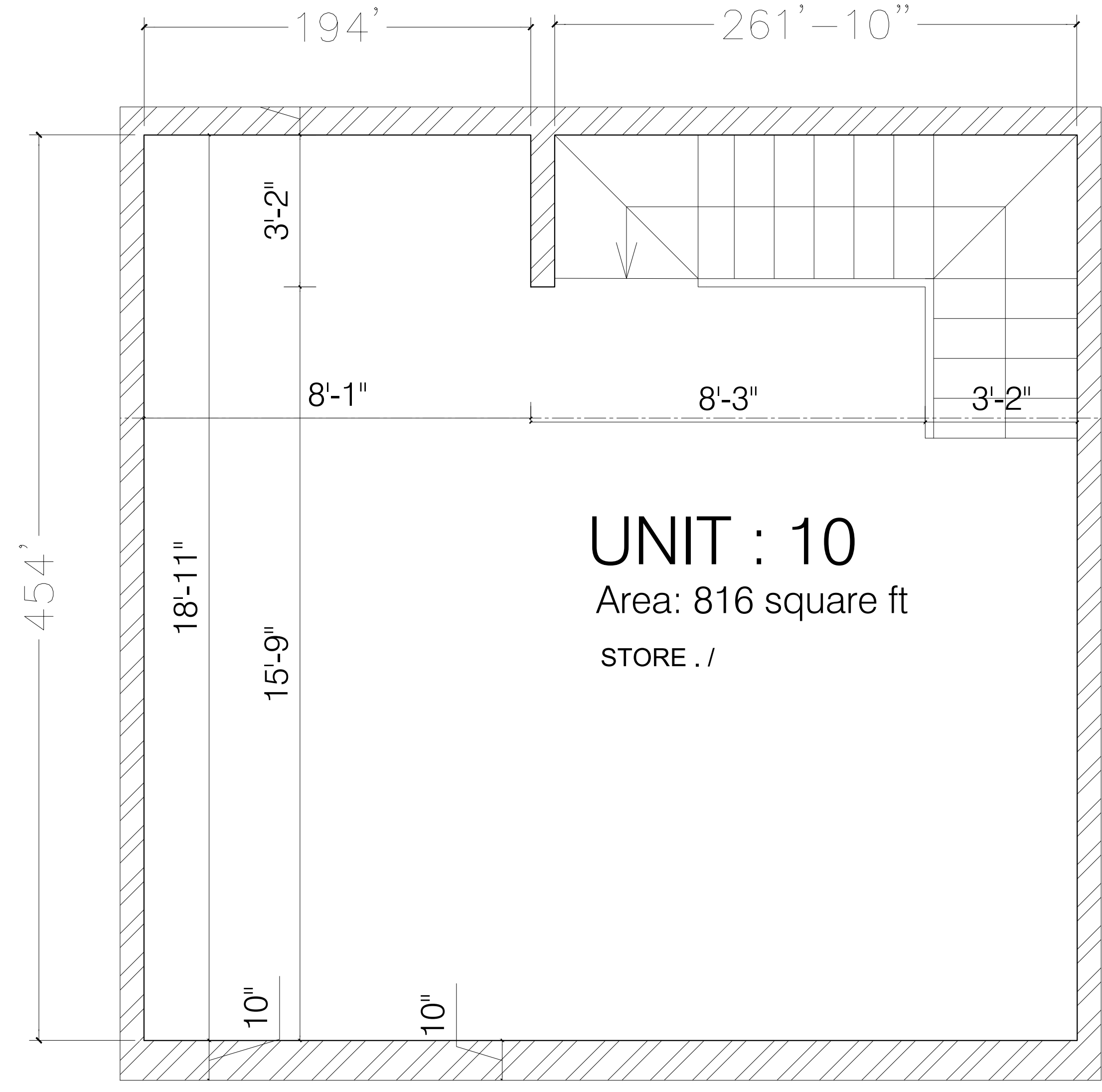
KEY PLAN

UNIT : 10

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN



BASEMENT PLAN

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

NOTES:

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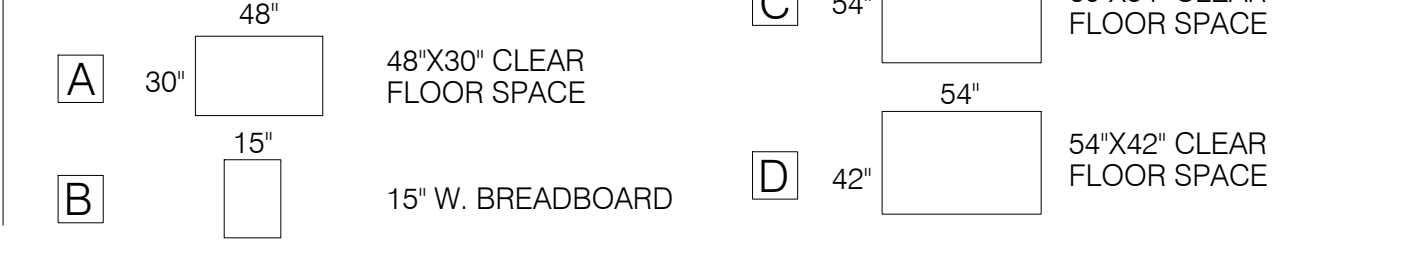
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LEGEND :

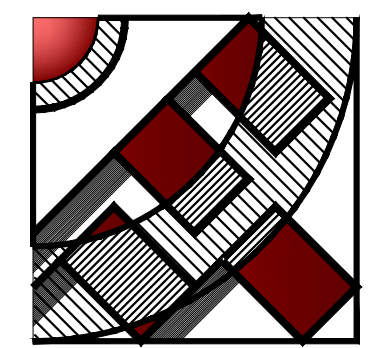
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KEYNOTES :



ELEVATION KEY NOTES

- 1 CLASS "A" ROOF
- 2 STUCCO
- 3 DOWNSPOUT
- 4 GUARDRAIL



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

DESIGN BY:

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CA 91364

PROJECT :

800 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

ELEVATIONS

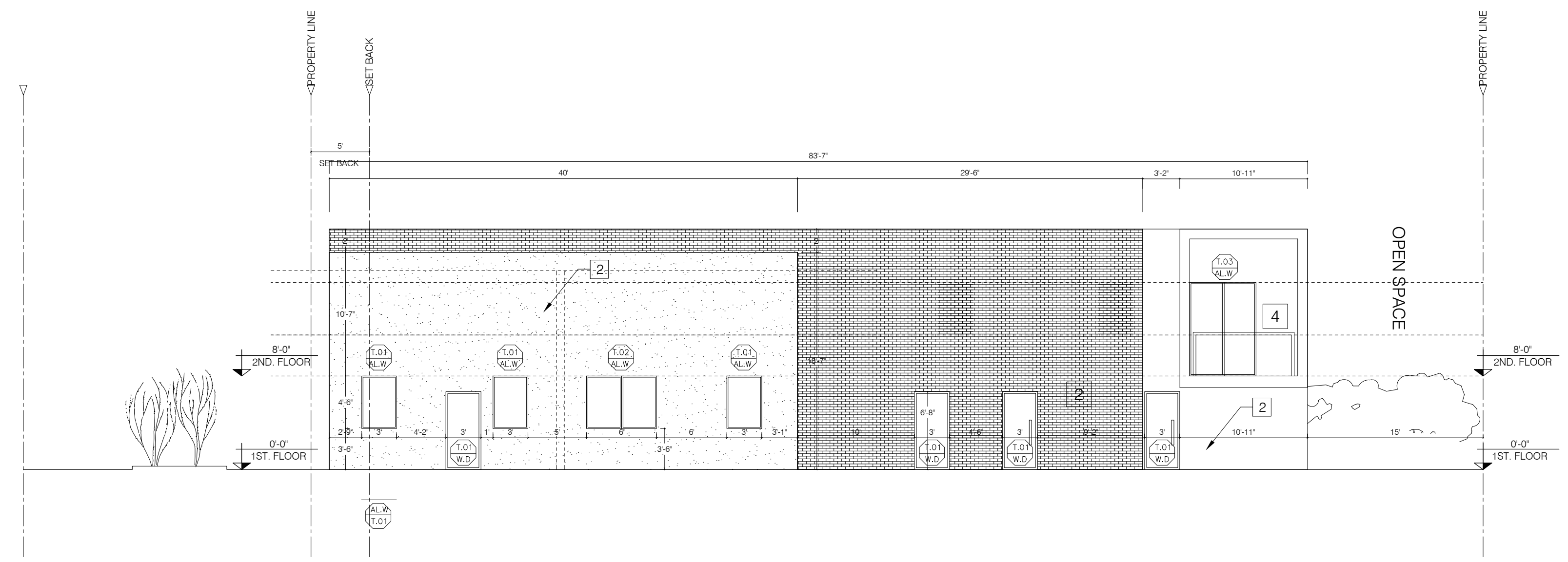
REVISION:

NO.	DATE	BY
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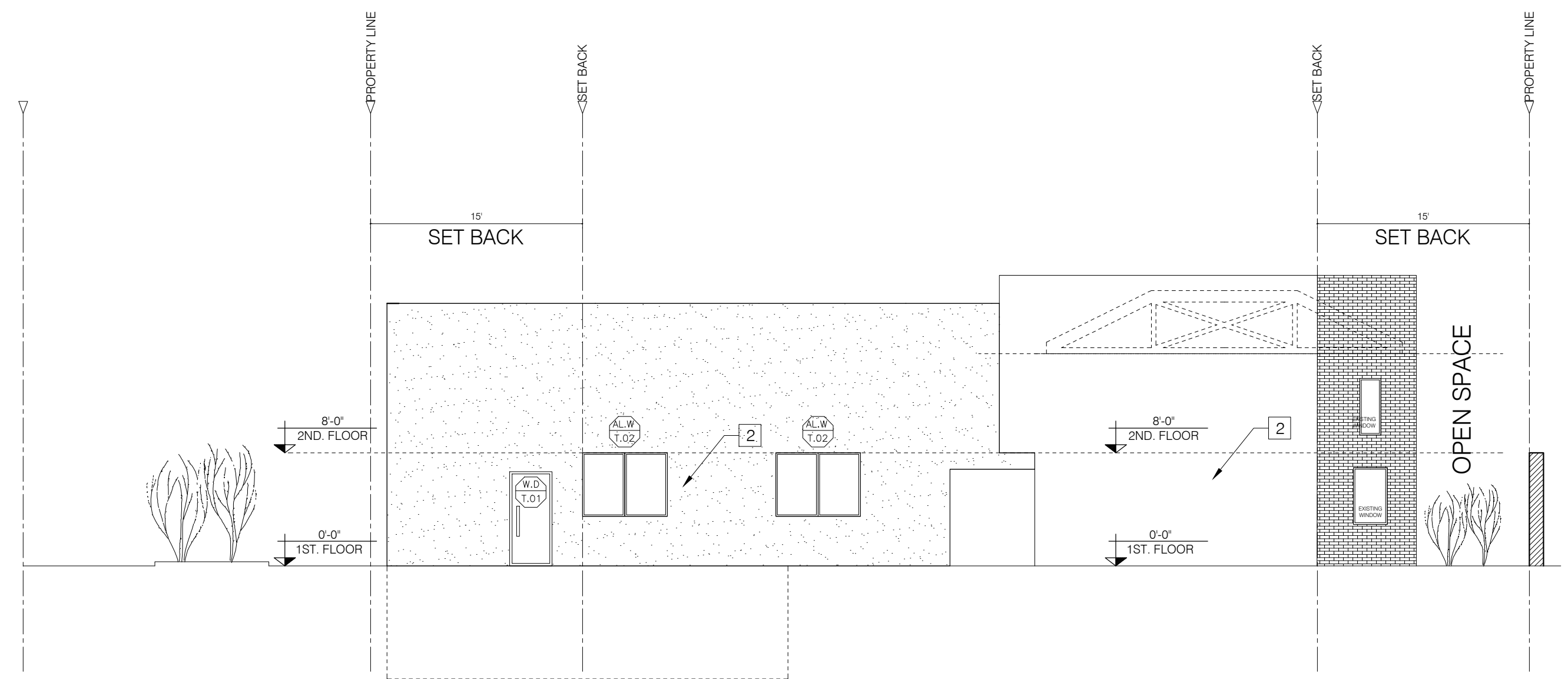
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DESIGN & DRAWN:	FMI
DATE:	01.12.21
JOB NUMBER:	

SHEET

A-3.0



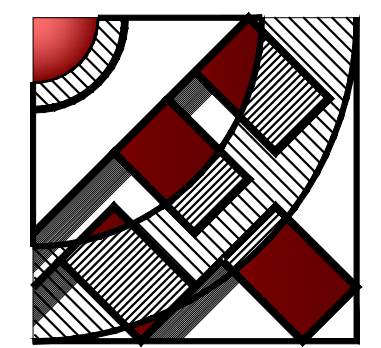
NORTH ELEVATION
SCALE: 1/8"= 1'-0"



WEST ELEVATION
SCALE: 1/8"= 1'-0"

ELEVATION KEY NOTES

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- 2 STUCCO
- 3 DOWNSPOUT
- 4 GUARDRAIL



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SHEET TITLE:

ELEVATIONS

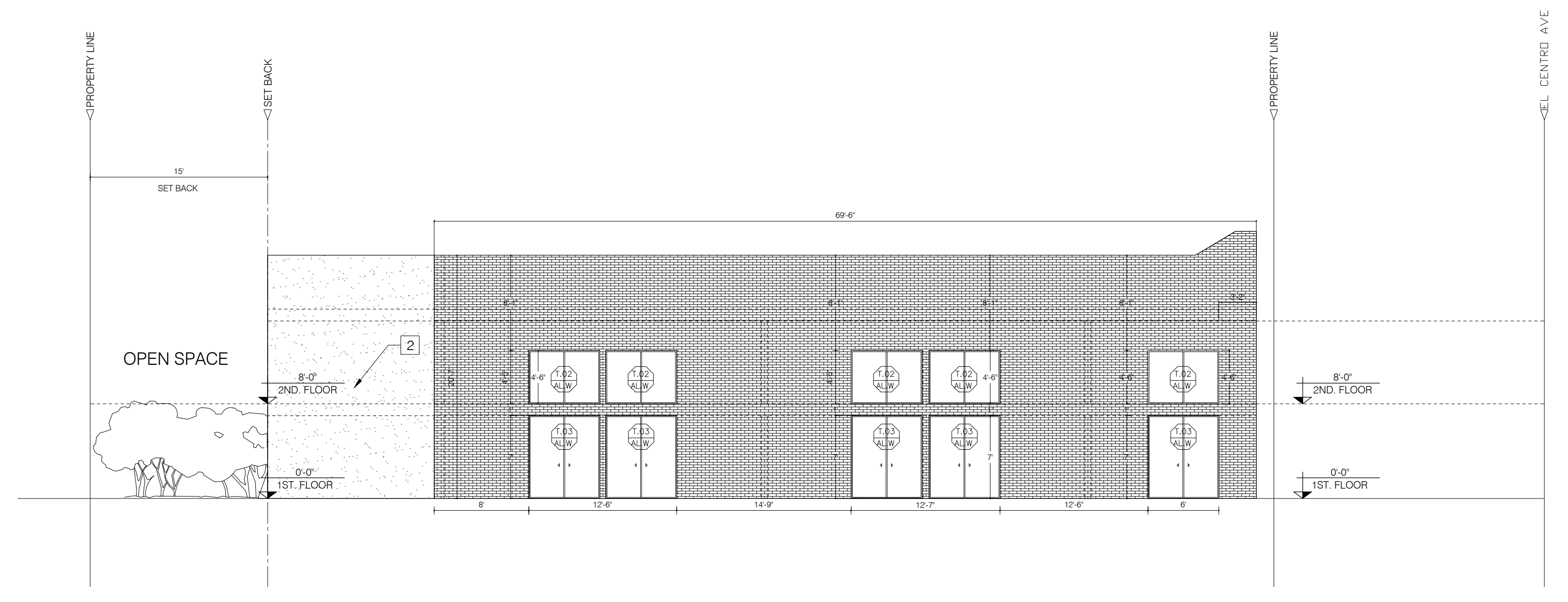
REVISION:

NO.	DATE	BY
-	-	-

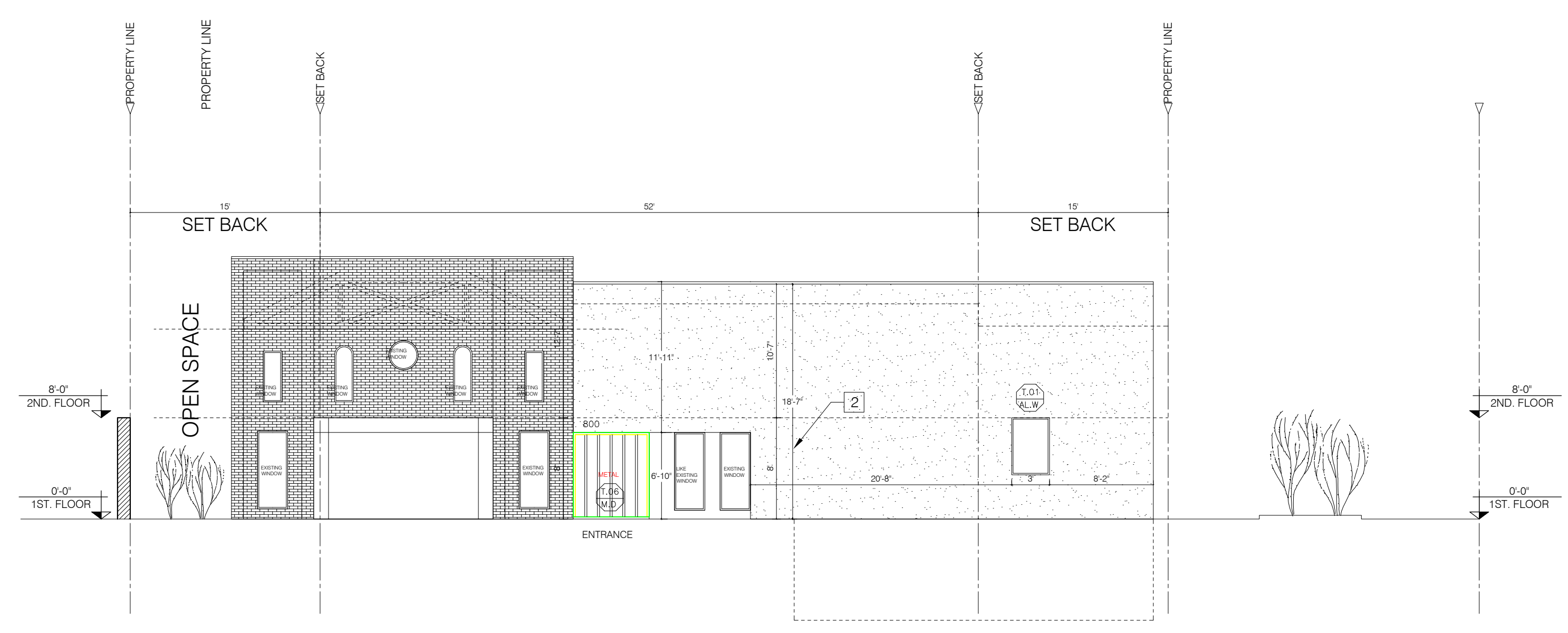
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DESIGN & DRAWN: FMI
DATE: 01.12.21
JOB NUMBER:

SHEET

A-3.1

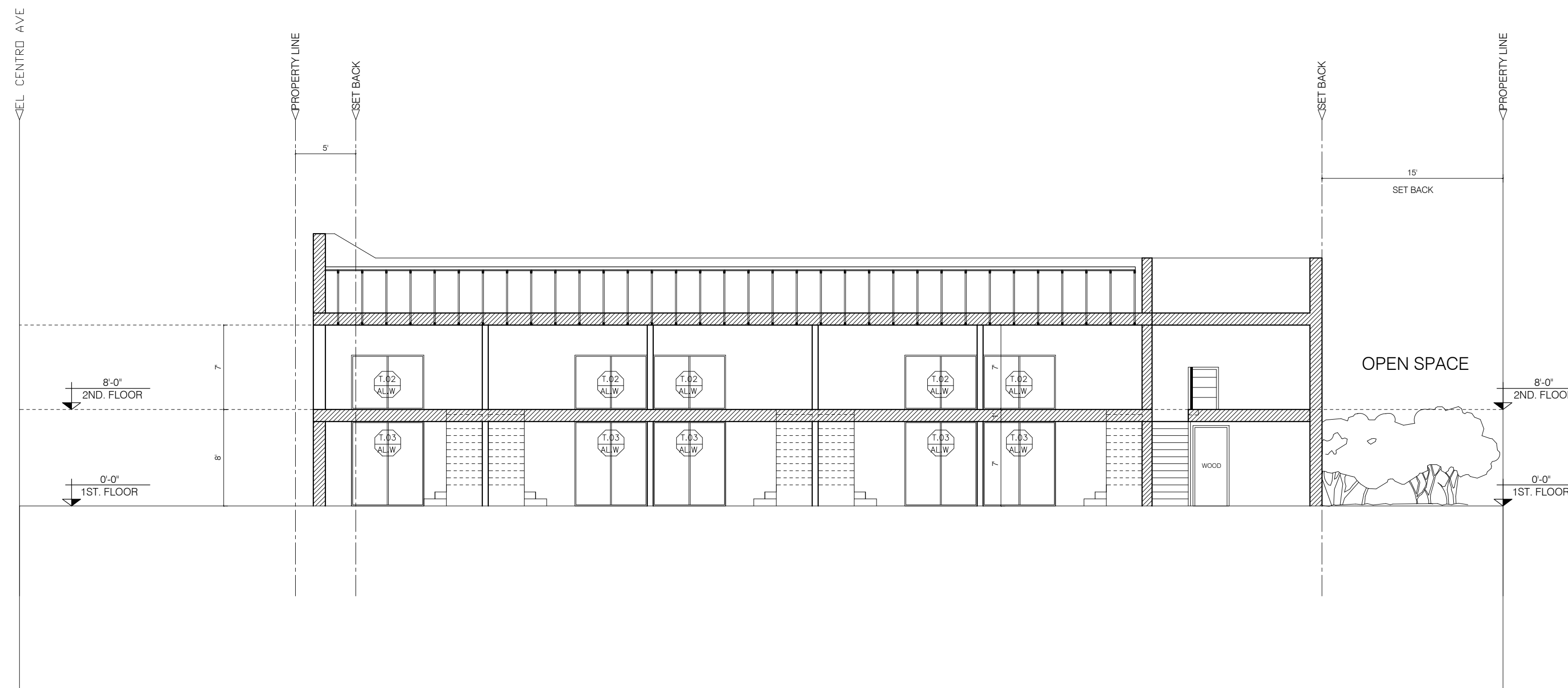


SOUTH ELEVATION
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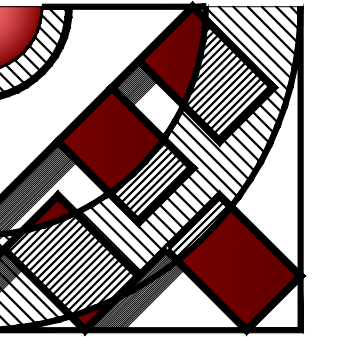
EAST ELEVATION
SCALE: 1/8" = 1'-0"

SECTION A-A
SCALE: 1/8"= 1'-0"



SECTIONS NOTES

- 1 CLASS "A" ROOFING
- 2 ROOF RAFTER
- 3 R- 30 INSULATION
- 4 7/8"STUCCO OVER PAPER BACK WIRE MESH PROVIDE 2-LAYER OF PAPER OVER PLYWOOD
- 5 R-13 INSULATION
- 6 5/8" GYPSUM BOARD
- 7 R-19 INSULATION
- 8 2X FLOOR JOIST
- 9 HANDRAIL
- 10 4" CONCRETE SLAB ON GRADE
- 11 CONCRETE FTG SEE STRUCTURAL PLANS
- 12 GUARDRAIL



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

DESIGN BY:

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RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

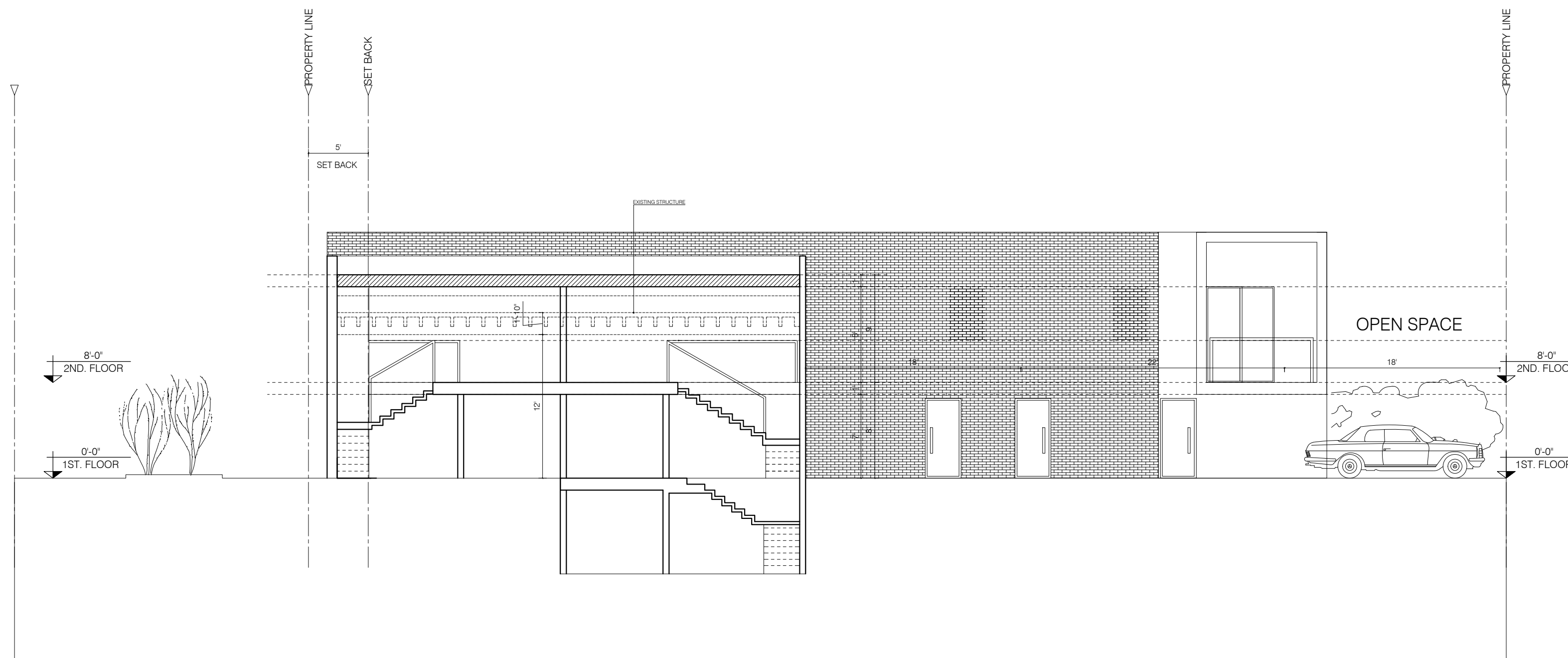
SECTIONS

REVISION:

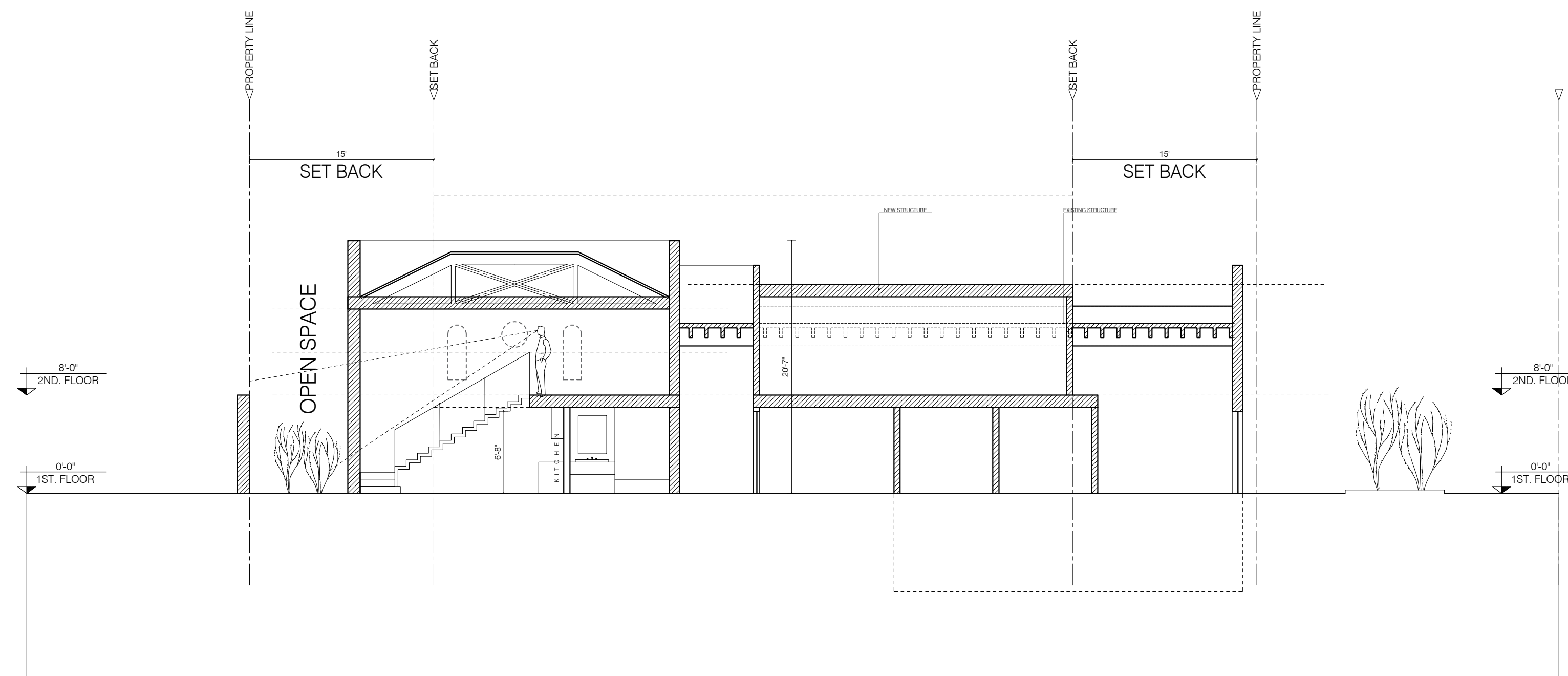
NO.	DATE	BY
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SCALE: 1/8"= 1'-0"
DESIGN & DRAWN: FMI
DATE: 01.12.21
JOB NUMBER:

SECTION B-B
SCALE: 1/8"= 1'-0"

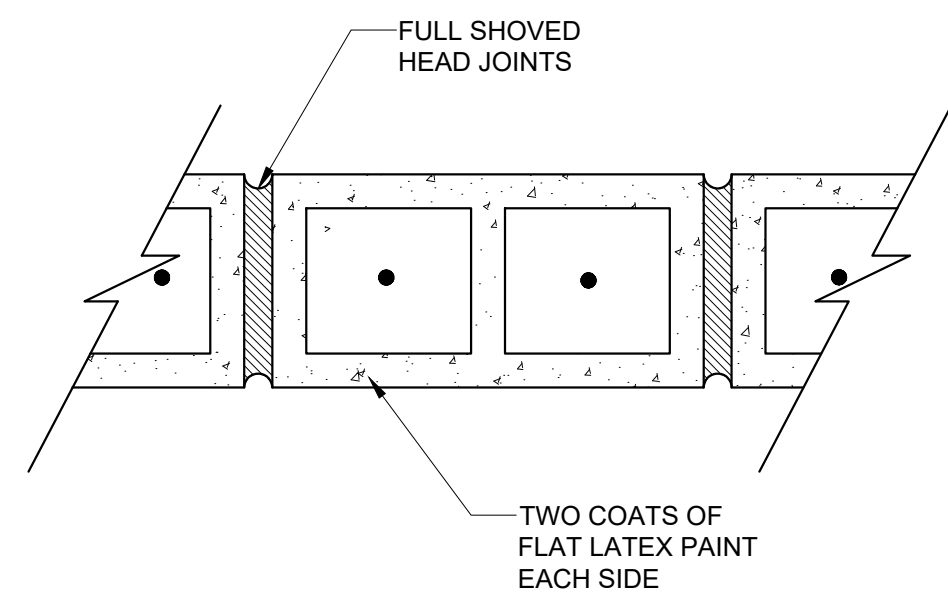


SECTION C-C
SCALE: 1/8"= 1'-0"



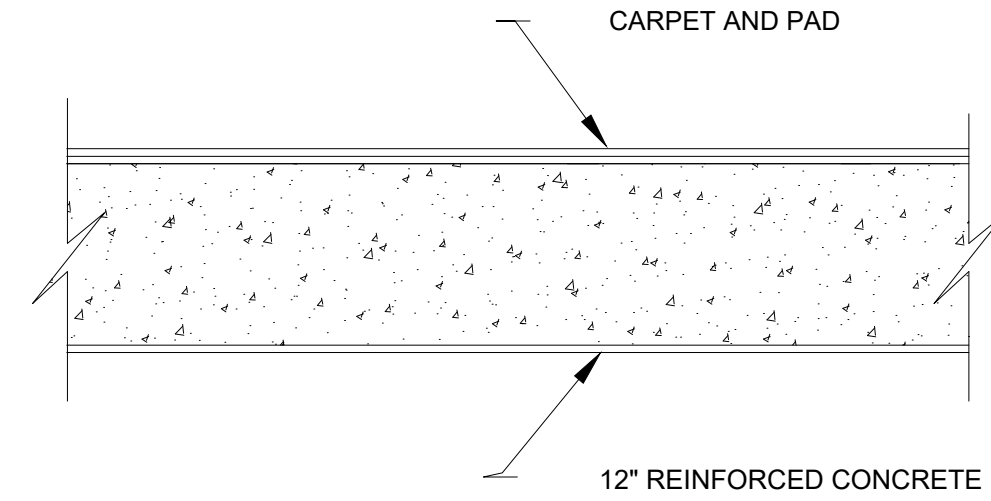
SHEET

A-4.0



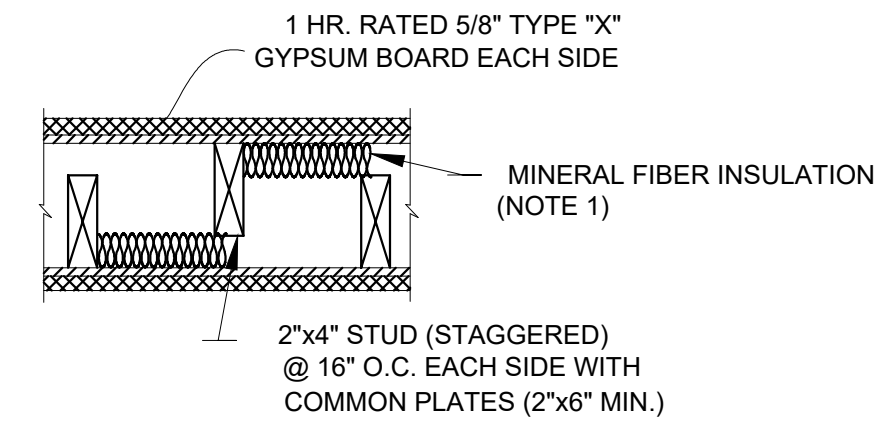
NOTES:
8" CONCRETE BLOCK ALL CELLS FILLED

1 BLOCK WALL (2-HR FIRE RATED)



NOTES:
ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.

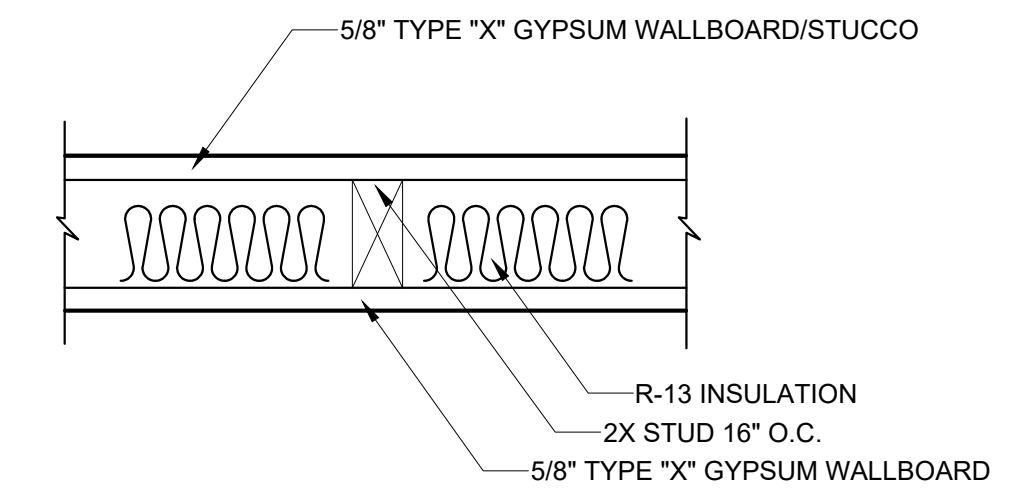
2 CONCRETE SLAB



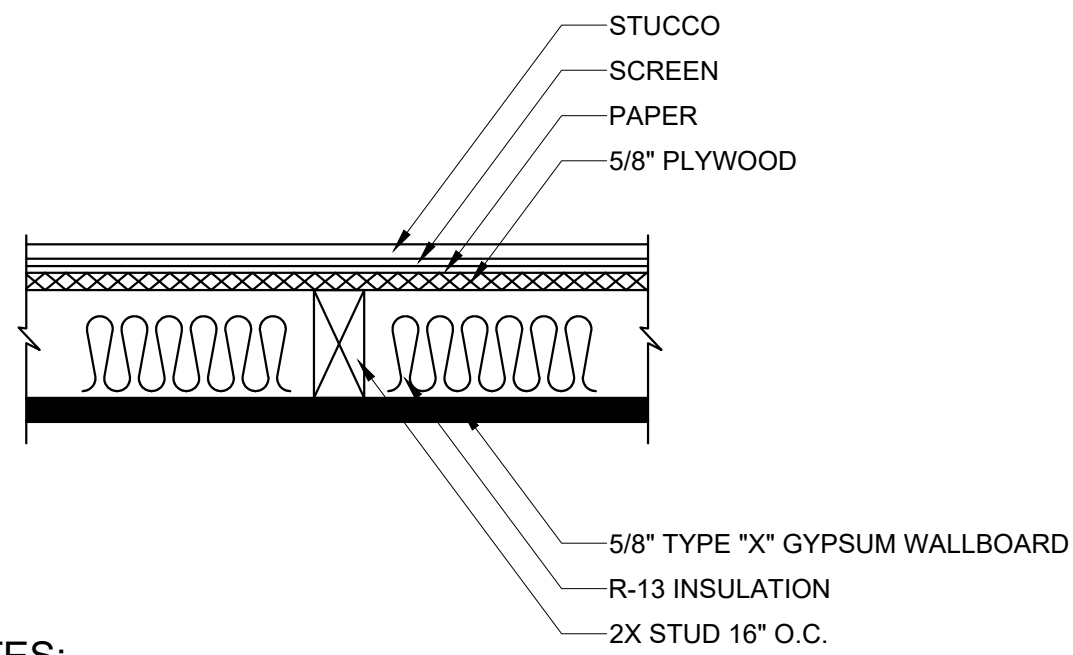
5/8" FIRE-SHIELD WALL BOARD BASE LAYER APPLIED VERTICALLY, NAILED 12" O.C. FACE LAYER 5/8" FIRE-SHIELD WALLBOARD APPLIED HORIZONTALLY, NAILED 8" O.C. DOUBLE ROW OF 2X6 WOOD STUDS 16" O.C. ON SEPARATED PLATES, SOUND RATING WITH 3 1/2" MINERAL WOOL OR GLASS FIBER IN CAVITY

NOTES:
1- THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION RR-1-521B.
2- NO TEST IS ON FILE TO JUSTIFY AN STC 50 WITH ONE 5/8" TYPE "X" GYPSUM BOARD

3 ONE HOUR SEPARATION WALL (STC 50)

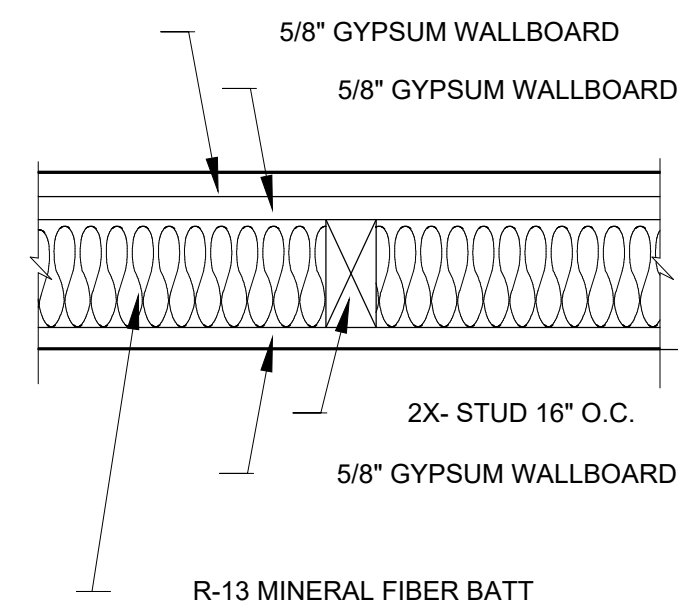


4 INTERIOR WALL (1-HR FIRE RATED (STC50))

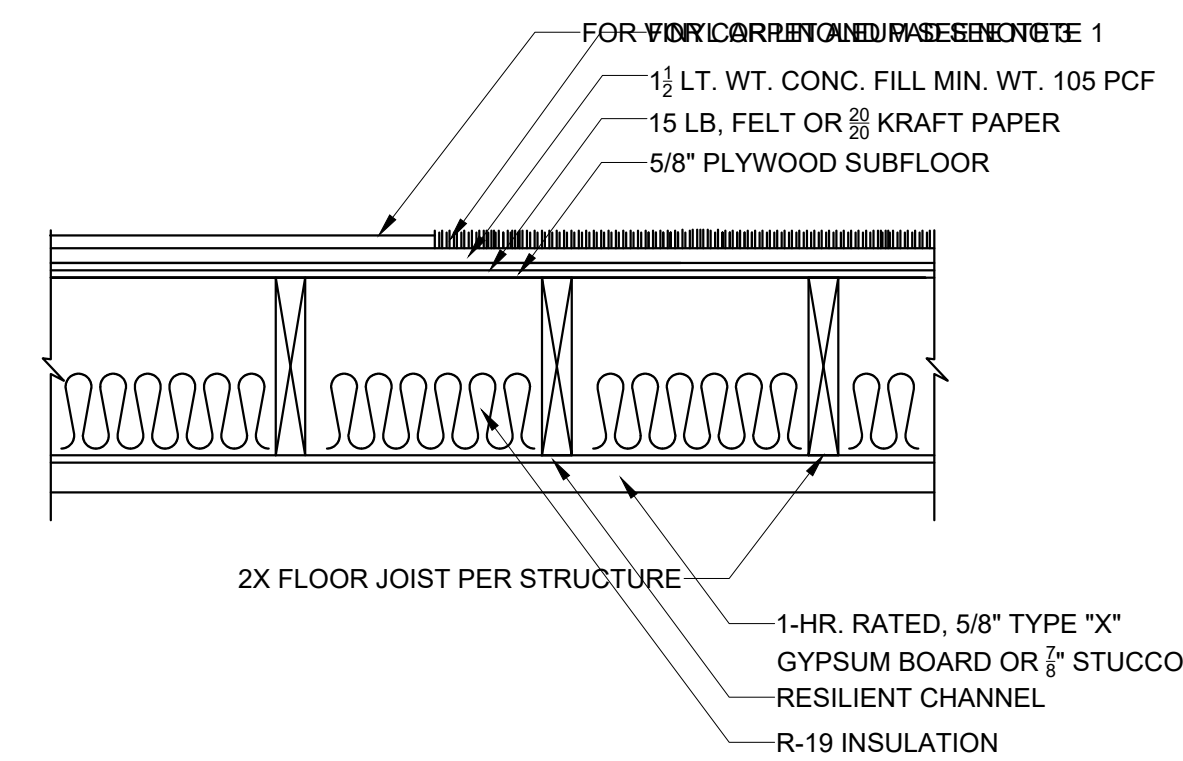


NOTES:
1- WALL FIRE PROTECTION ASSEMBLES ITEM NUMBER 15-1.3 PER TABLE 720.1(2)
2- 5/8" FIRE-SHIELD GYPSUM WALLBOARD INSIDE & 5/8" PLYWOOD OUTSIDE 2X STUDS 16" O.C.

5 EXTERIOR WALL 1-HR FIRE RATED (STC50)

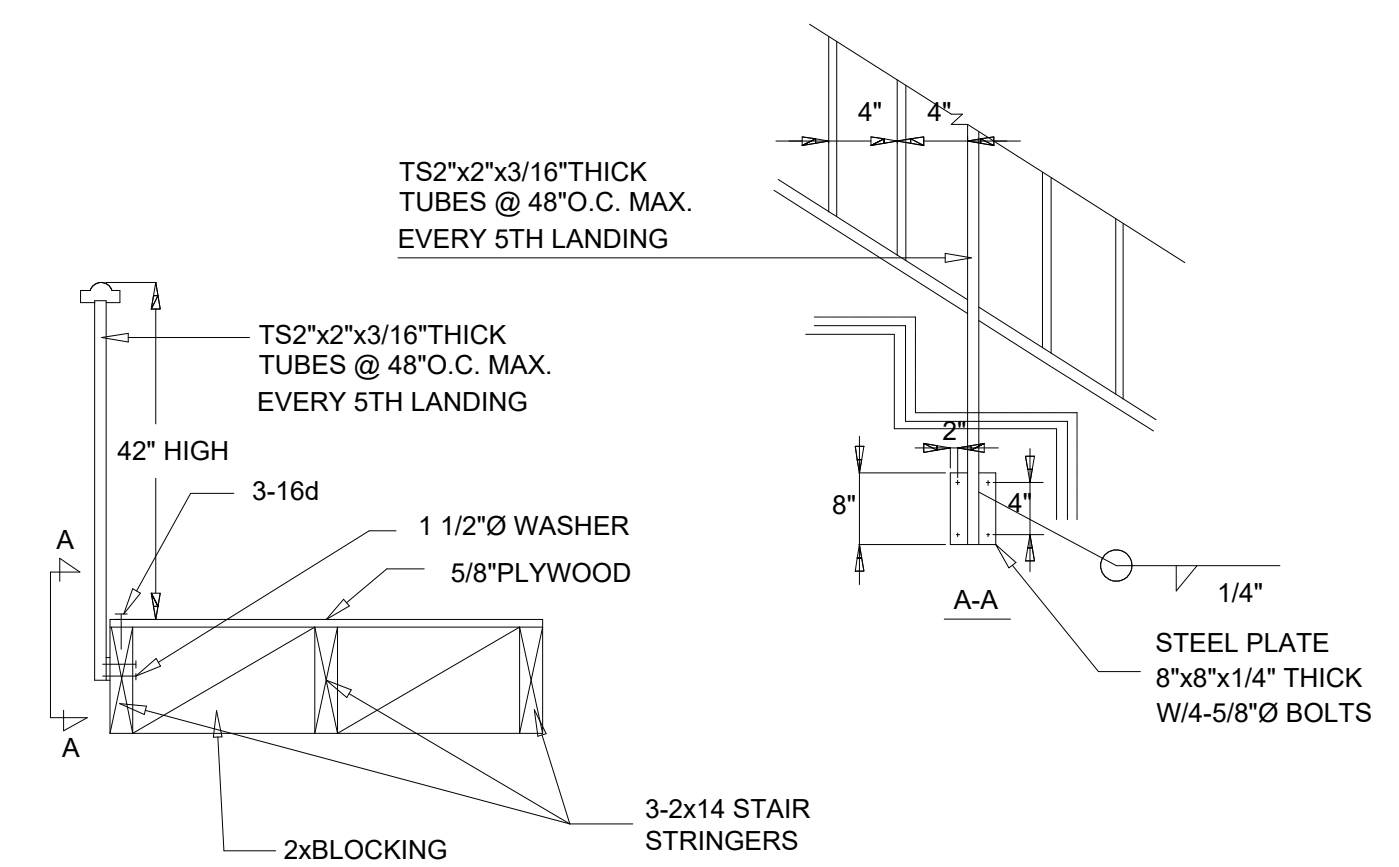


6 INTERIOR WALL 2-HR FIRE RATED

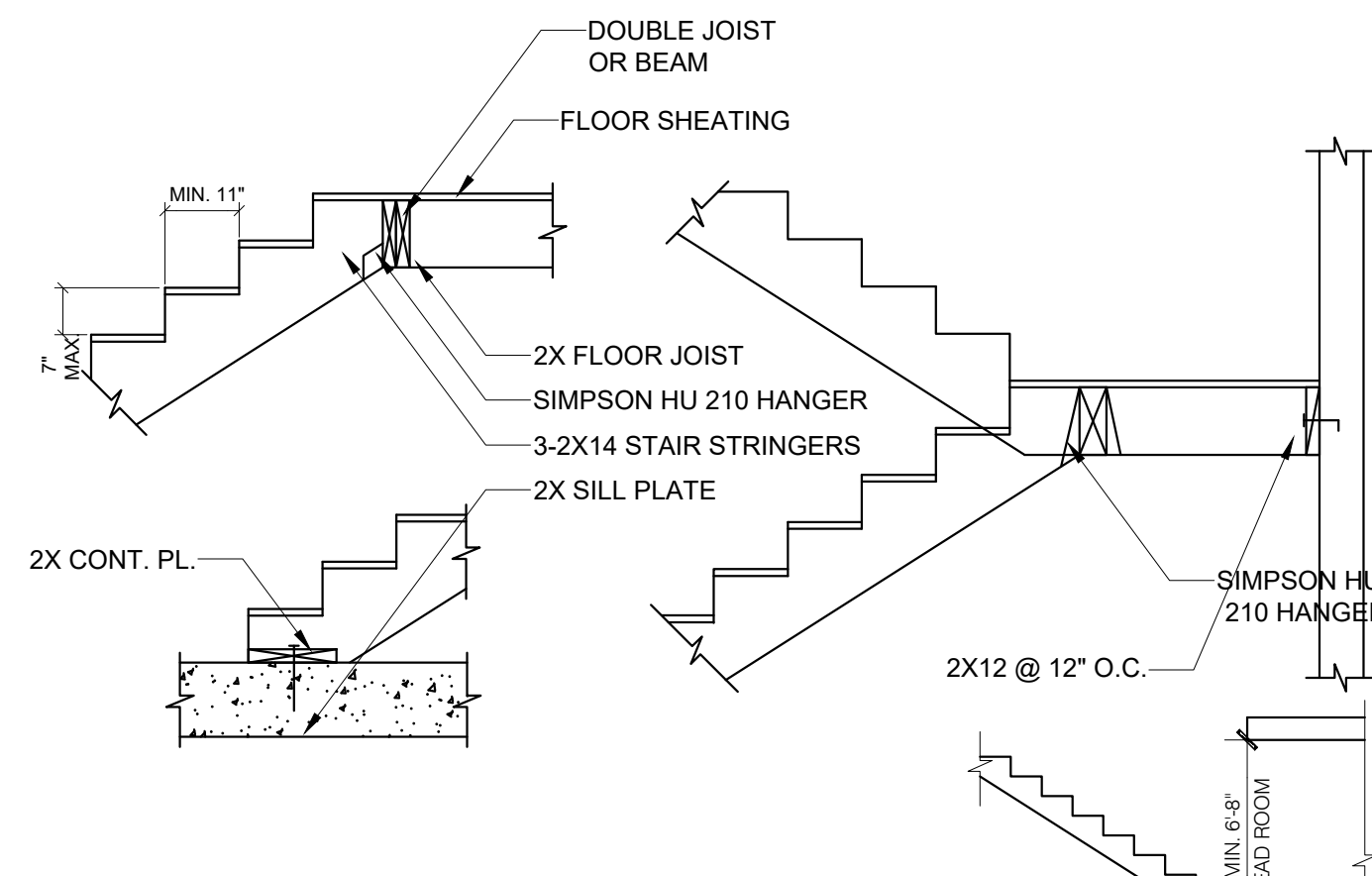


NOTE:
- 13 OZ. FACE WT. CARPET (31 OZ. TOT) AND 40 OZ. JUTTED PAD
- SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH MINIMUM THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS
- FLOOR FIRE PROTECTION ASSEMBLES ITEM NUMBER: 21-1.1 PER TABLE 720.1(3)

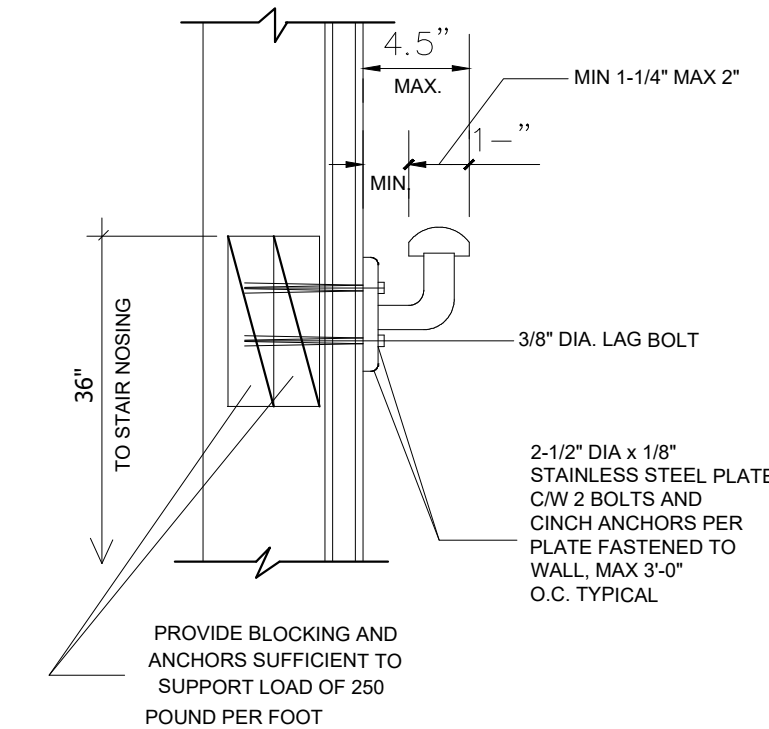
7 TYPICAL FLOOR-IIC 50- 1 HR RATED



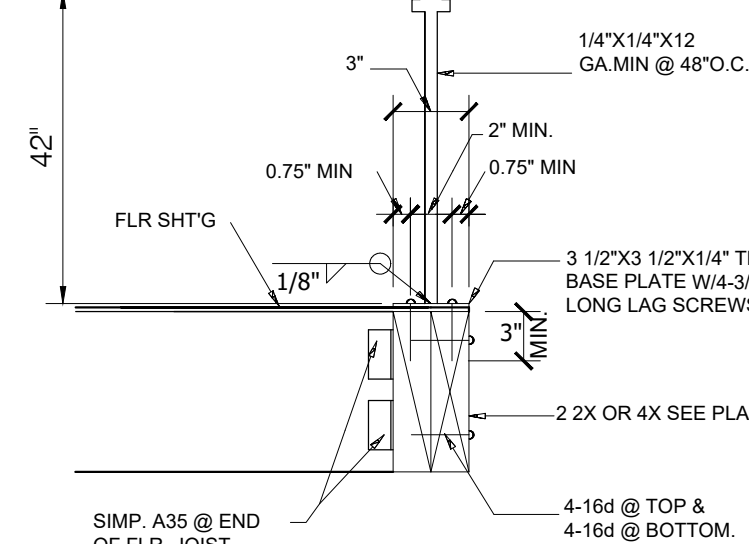
8 GUARD RAIL (STAIR CASE)



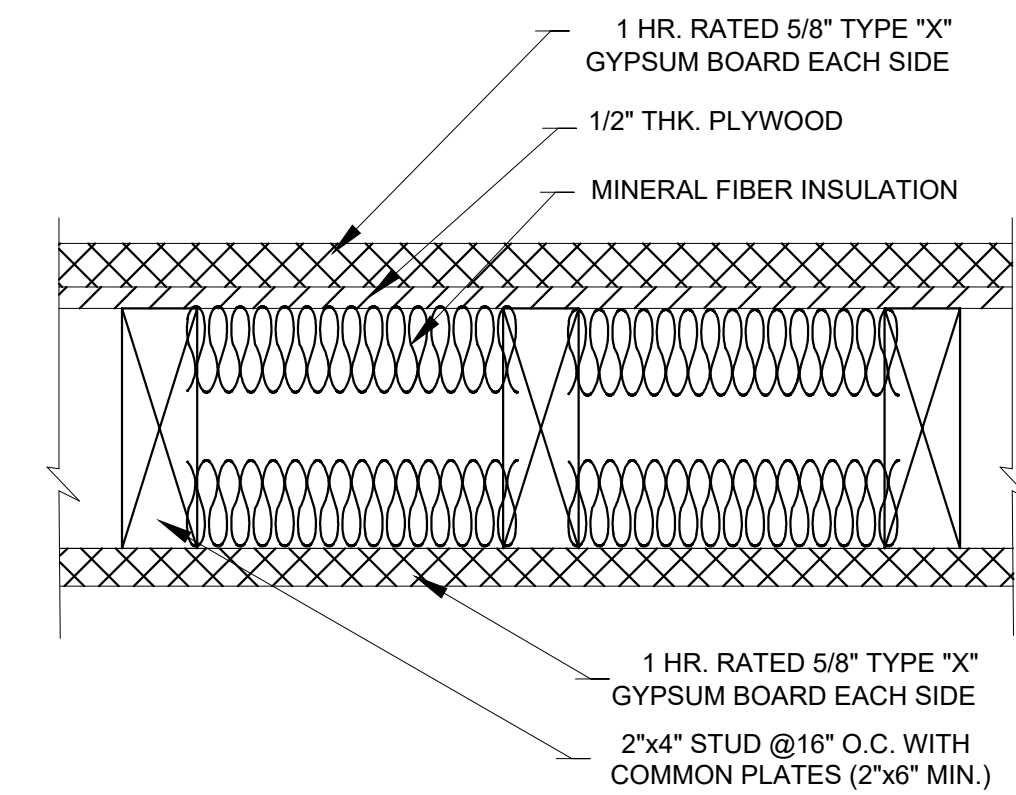
9 WOOD STAIR DETAILS @ FLOORS & LANDING



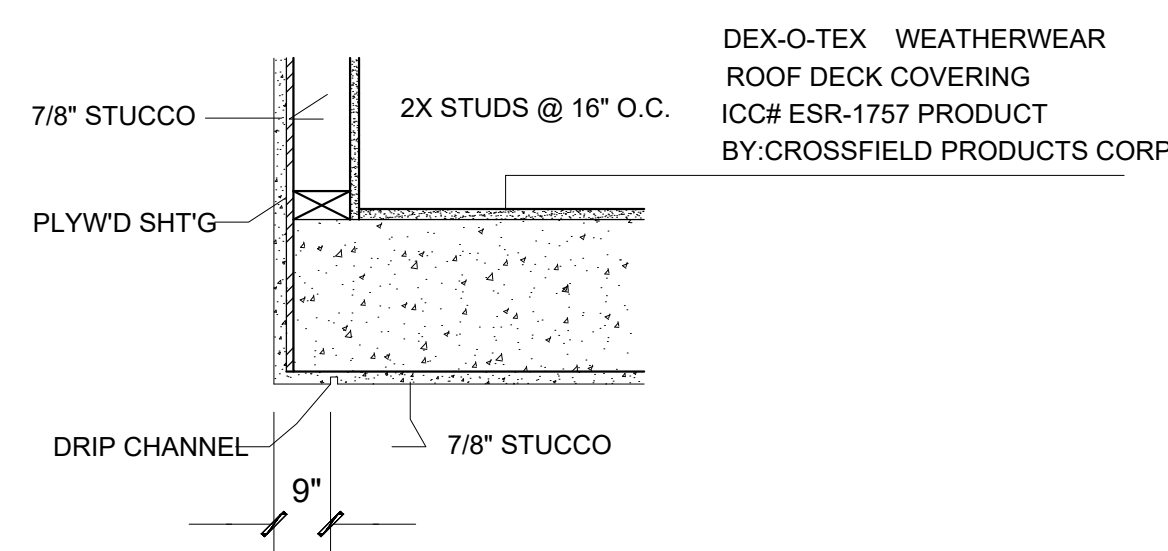
10 WALL-MOUNTED HANDRAIL



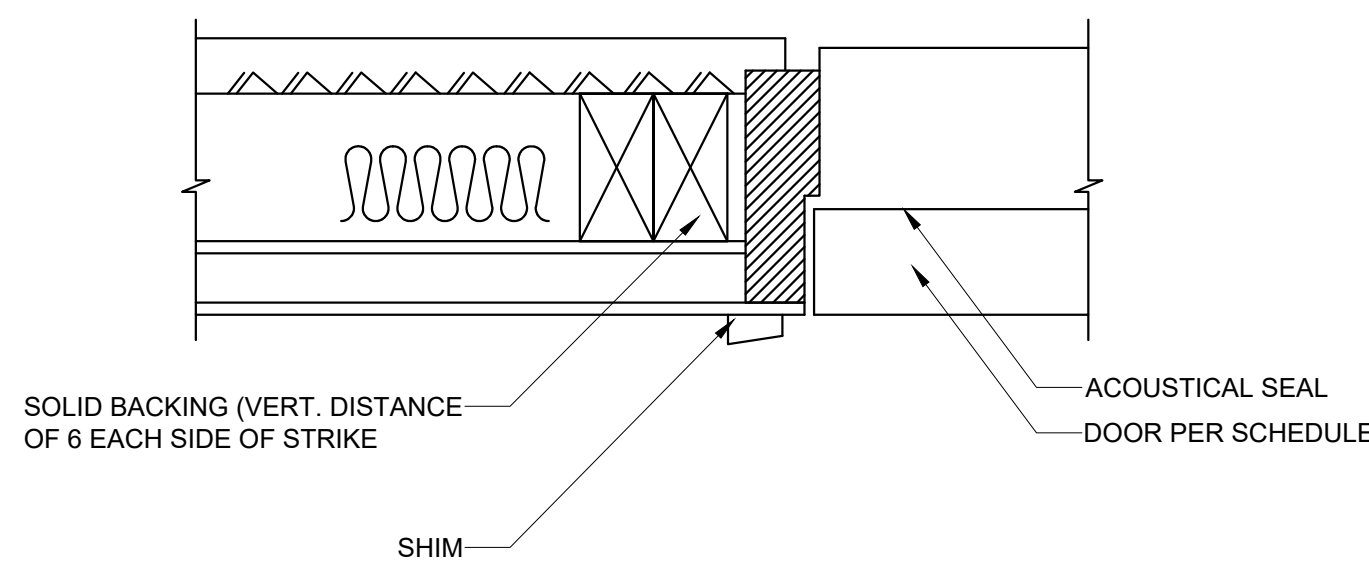
11 BALCONY GUARDRAIL



12 ONE HOUR SEPARATION WALL ALONG CORRIDOR

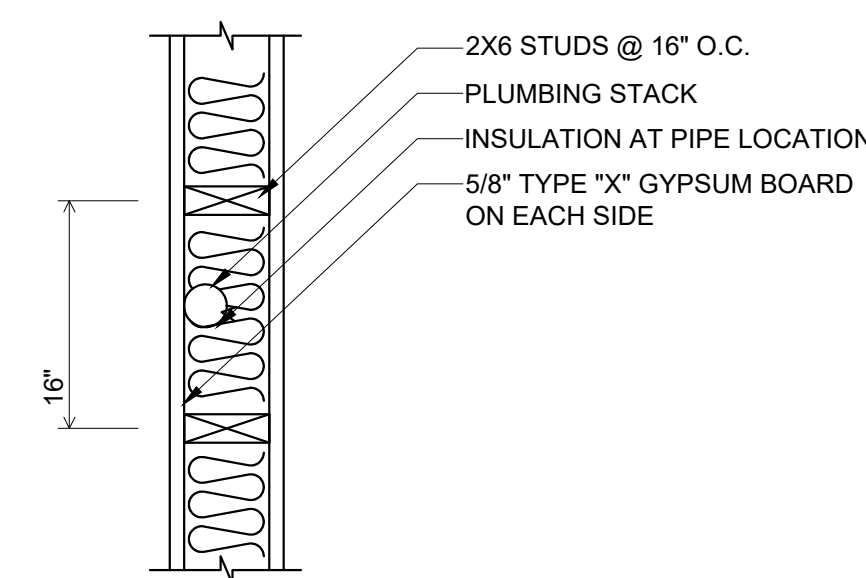


13 CANTILEVER / BALCONY

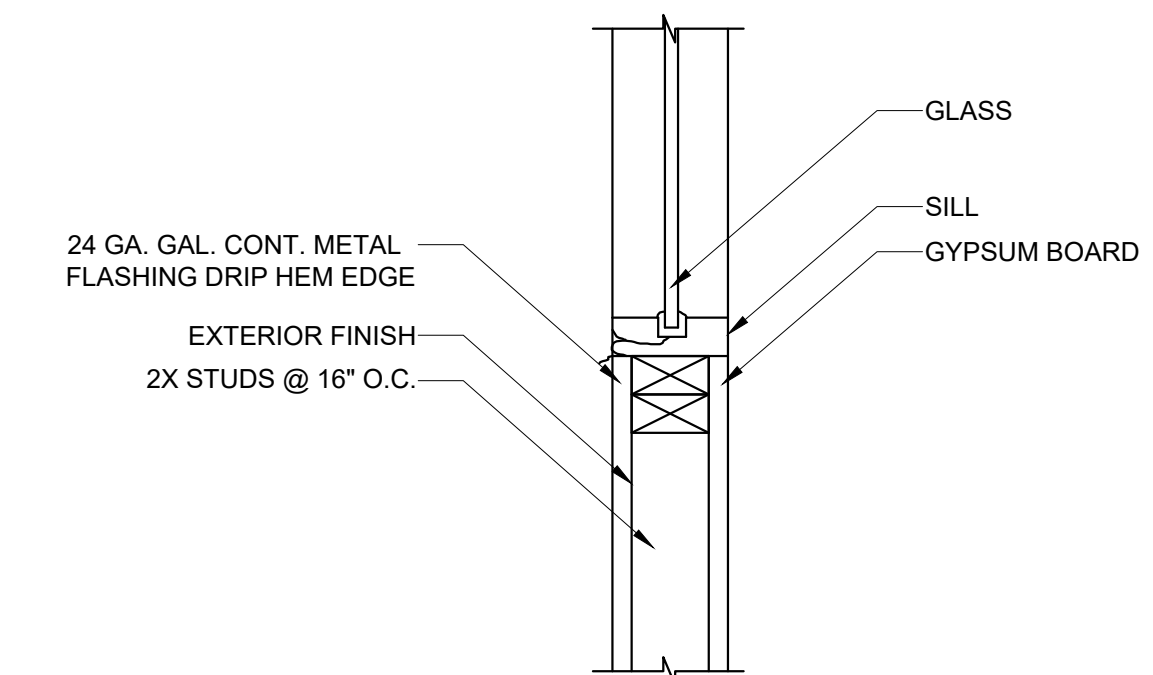


NOTE:
PROVIDE HORIZONTAL BLOCKING AT DOOR LOCK HEIGHT FOR (3) STUD SPACES @ EQUAL SIDE OF DOOR OPENING.

14 DOOR JAMB

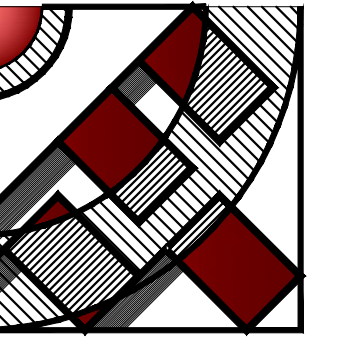


15 TYPICAL 1-HR PLUMBING WALL



NOTE:
LAC. DEPUTY INSPECTOR IS REQUIRED FOR ANY FIELD WELD.

16 EXTERIOR FLASHING



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SHEET TITLE:

DETAILS

REVISION:

NO.	DATE	BY

SCALE: 1/8" = 1'-0"

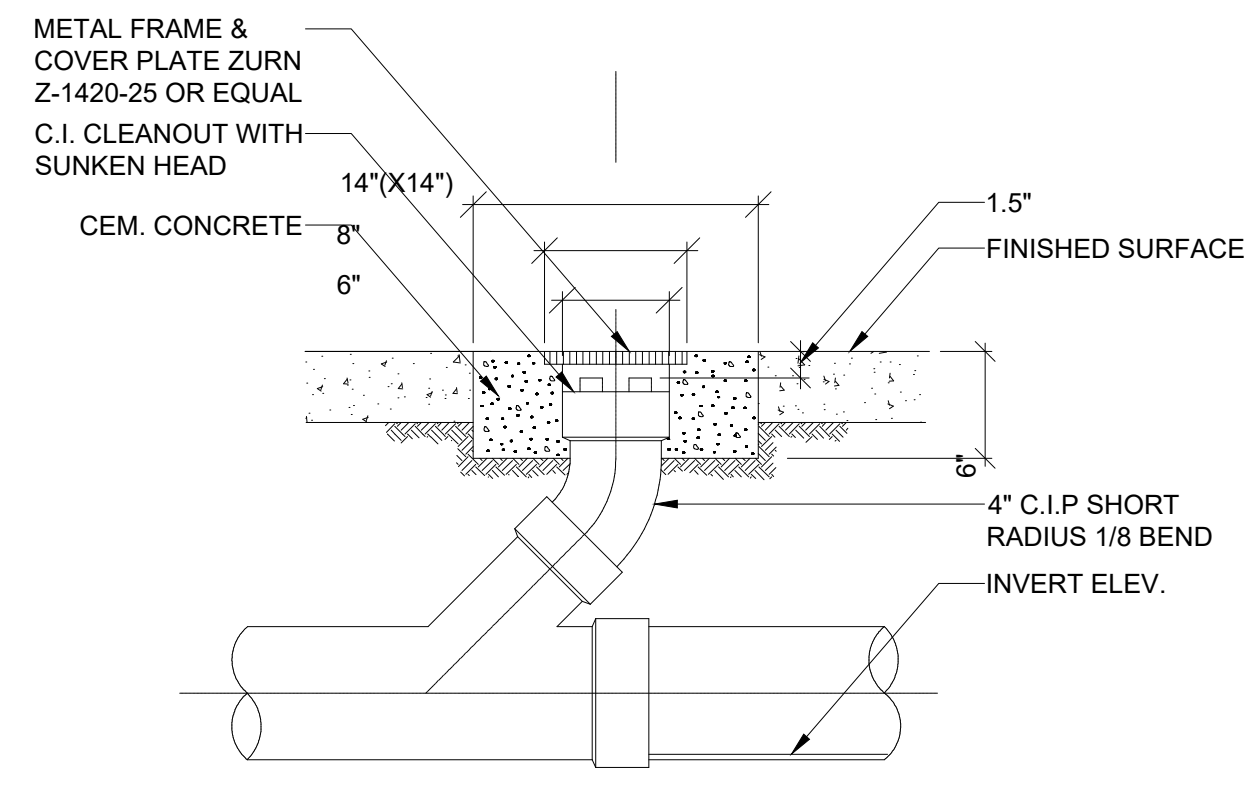
DESIGN & DRAWN: FMI

DATE: 01.12.21

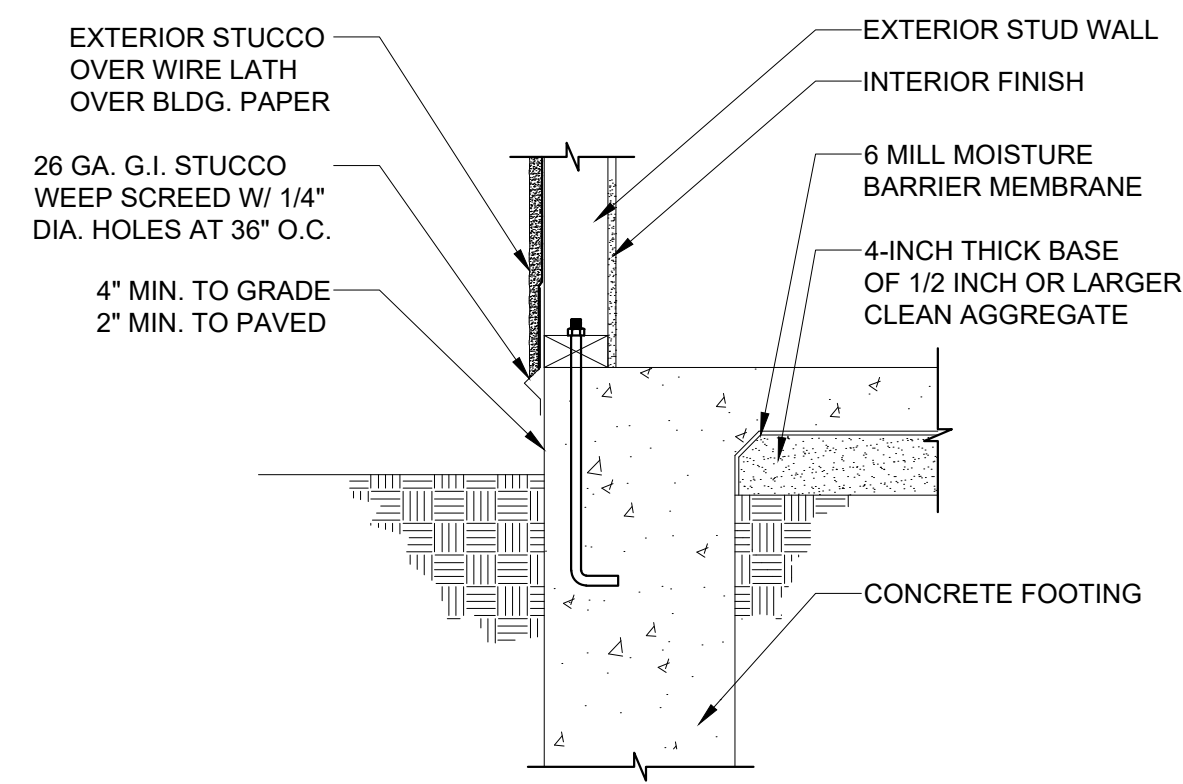
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SHEET

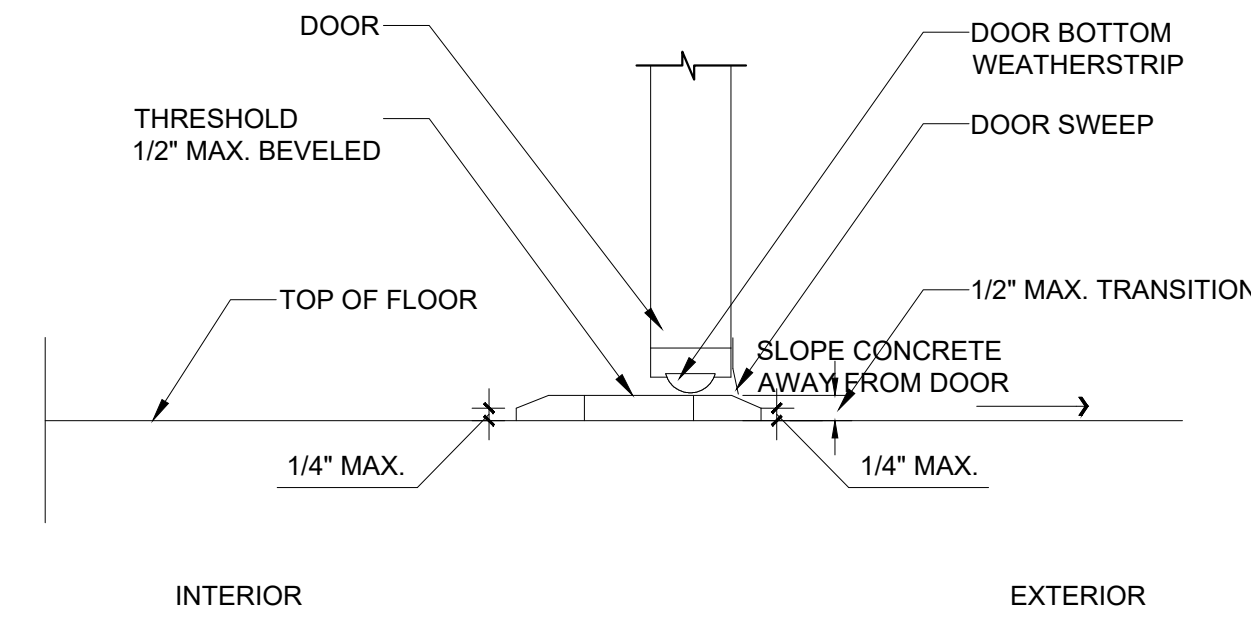
AD-1



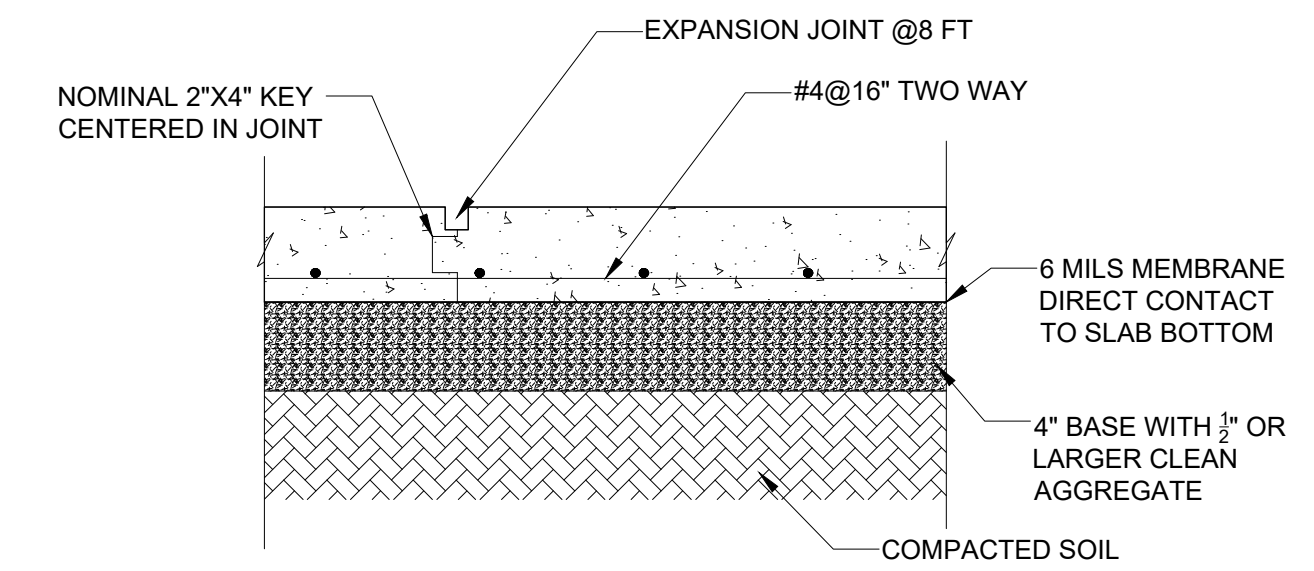
1 FLOOR DRAIN-CLEANOUT DETAIL



2 CONCRETE SLAB AND STUCCO SCREED DETAIL



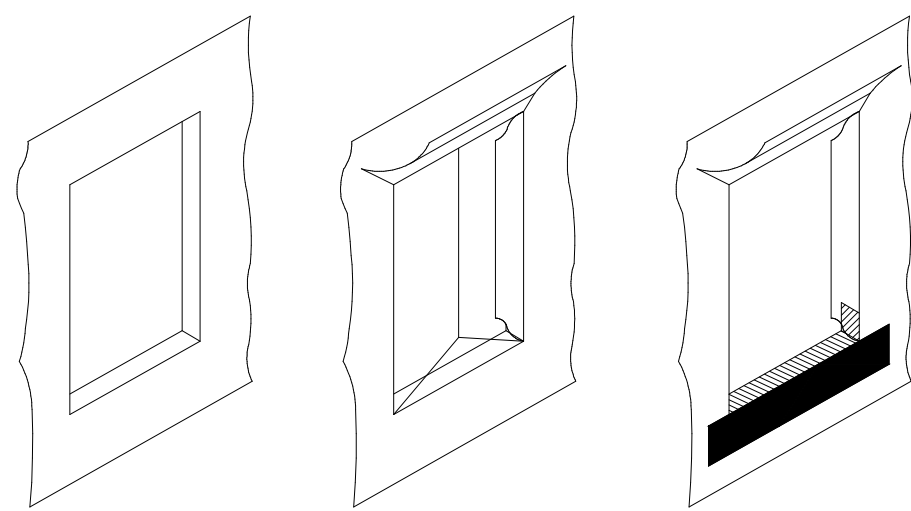
3 DOOR THRESHOLD



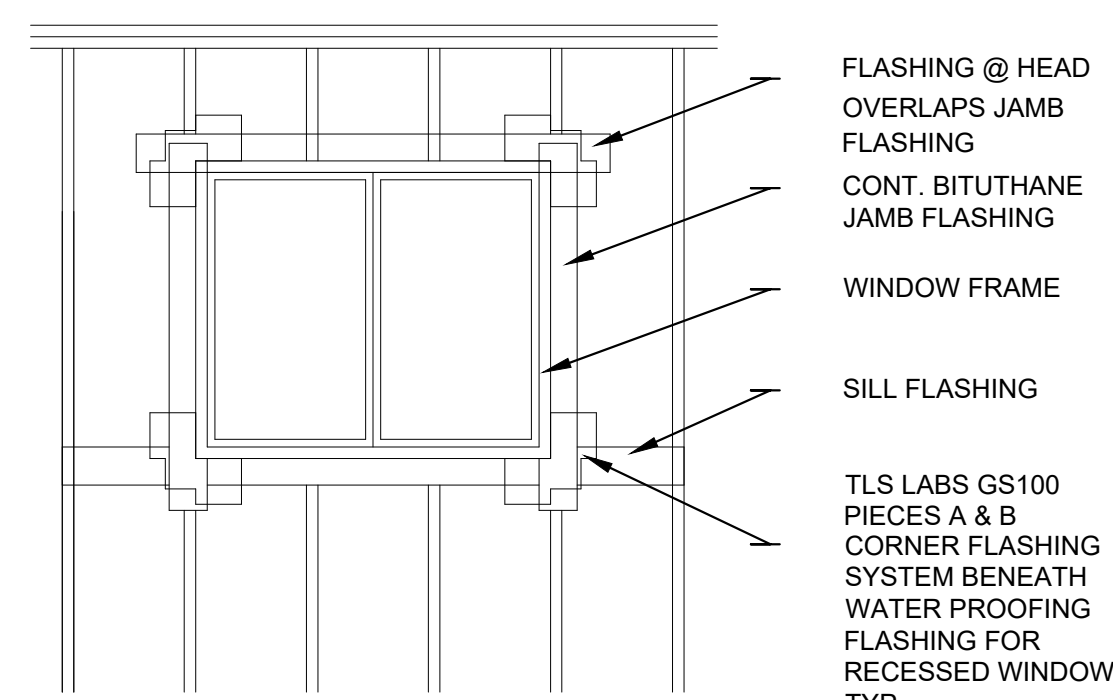
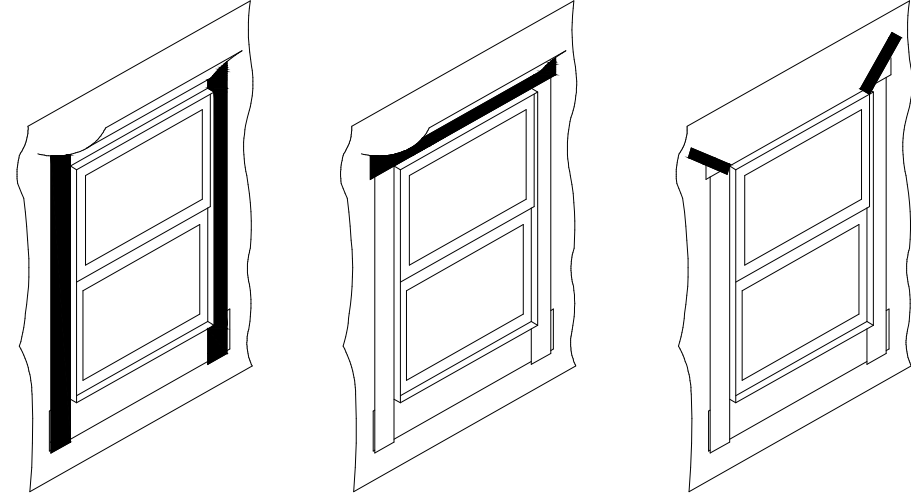
NOTE:
4" CONC. SLAB ON GRADE
W/ #4 @ 16" EACH WAY
BASED ON 4" THICK OF
1/2" OR LARGER CLEAN
AGGREGATE W/ A VAPOR
BARRIER CONTACTING TO
CONCRETE SLAB.
EXPANSION JOINT @
INTERVALS OF 8 ft.(TYP.)

4 SLAB ON GRADE

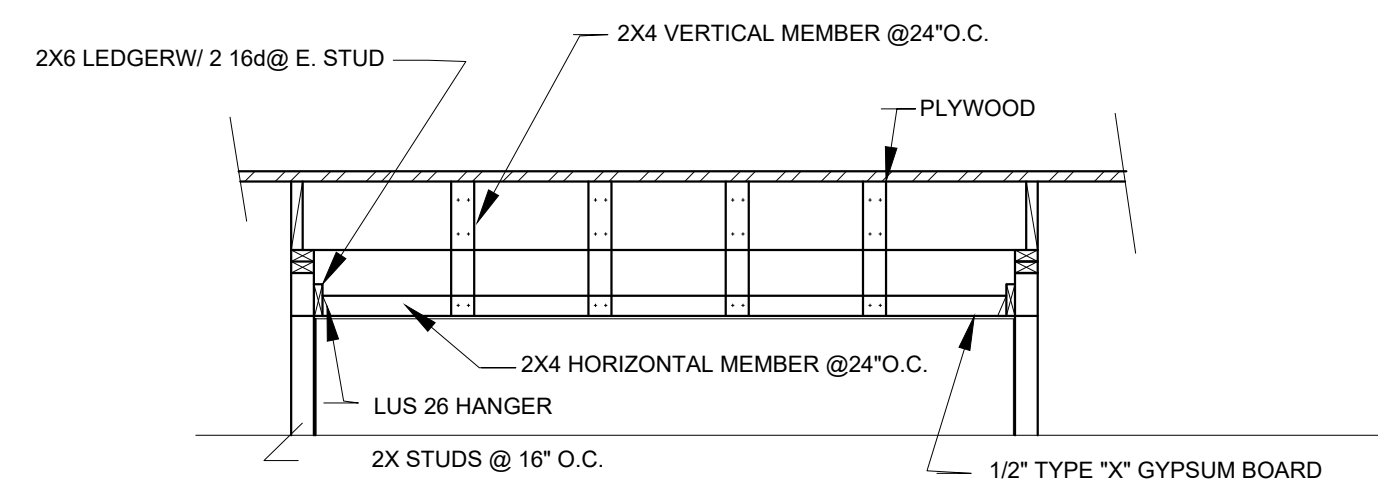
- 1 CREATE WINDOW OPENING
- 2 APPLY HOUSE WRAP AND CUT MODIFIED I
- 3 APPLY SILL FLASHING AND WINDOW SEALANT



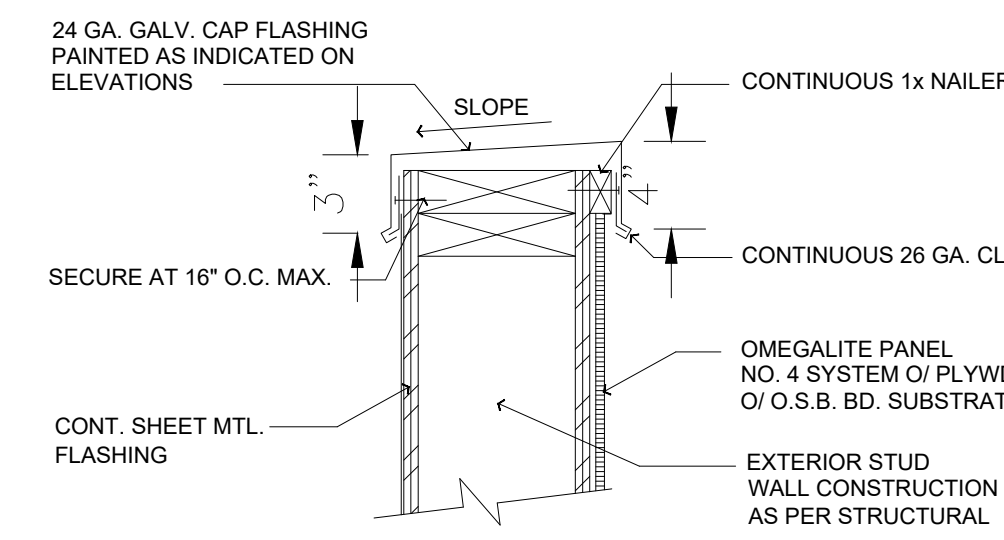
- 4 INSTALL WINDOW AND APPLY JAMB FLASHING
- 5 APPLY HEAD FLASHING
- 6 FOLD HOUSEWRAP DOWN AND TAPE OVER CUTS



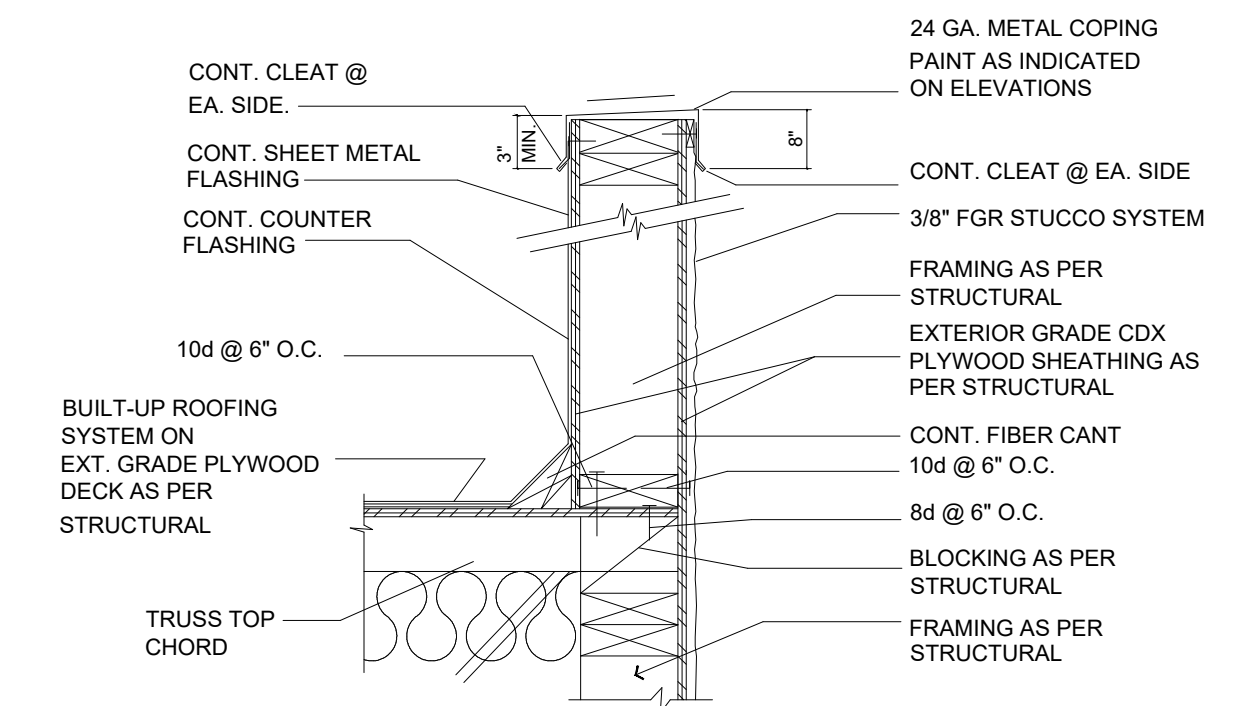
5 WATER PROOFING @ OPENINGS DETAIL



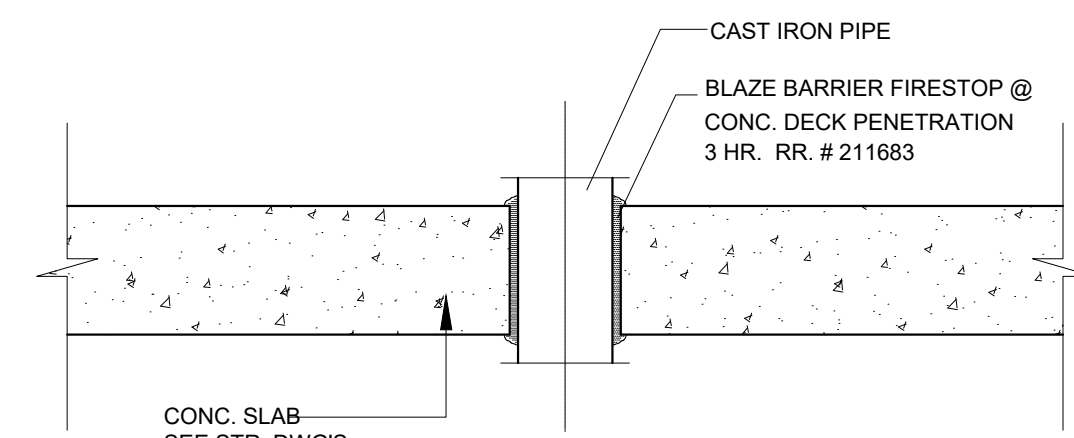
6 SOFFITS DETAIL



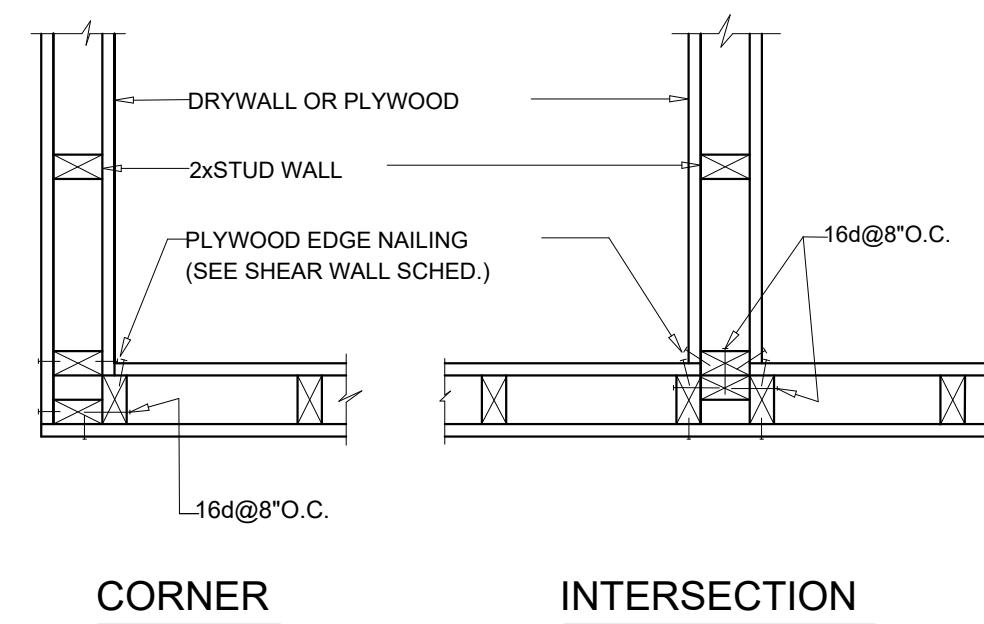
7 PARAPET CAP



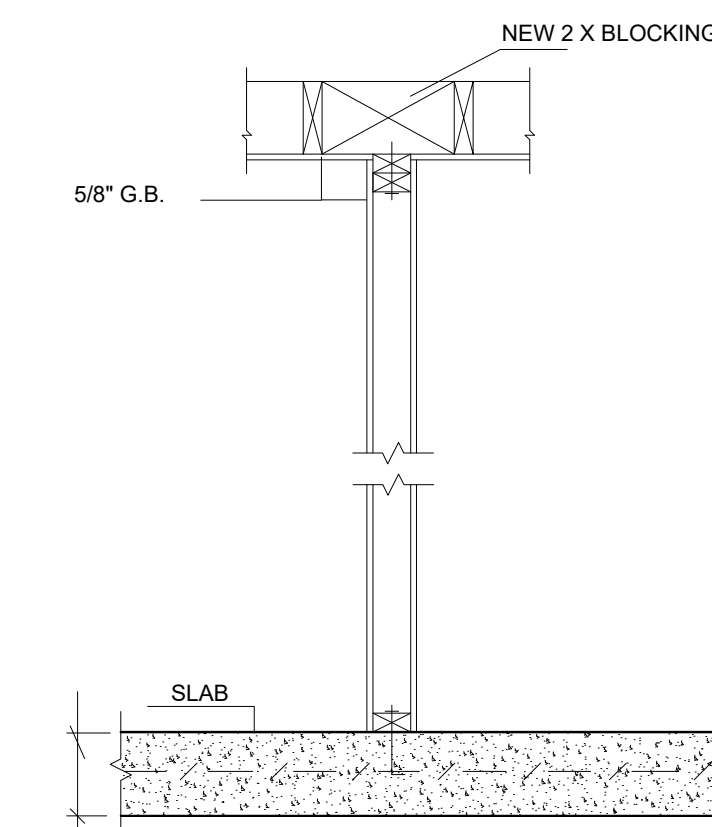
8 TYPICAL PARAPET



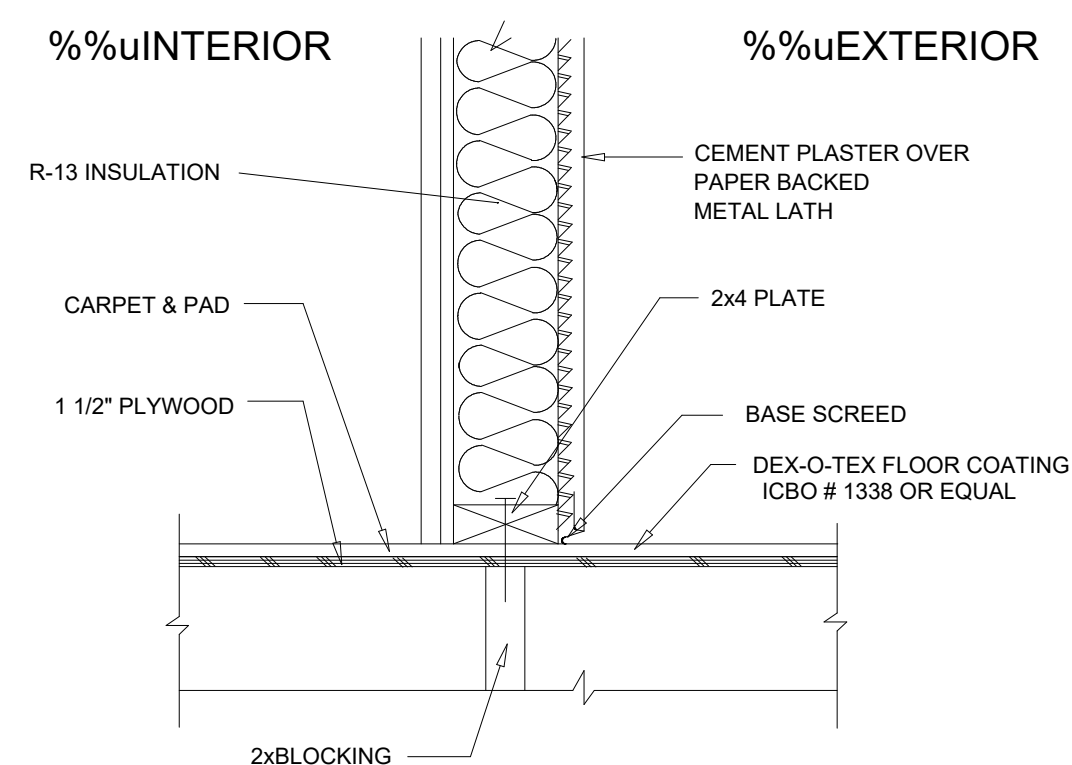
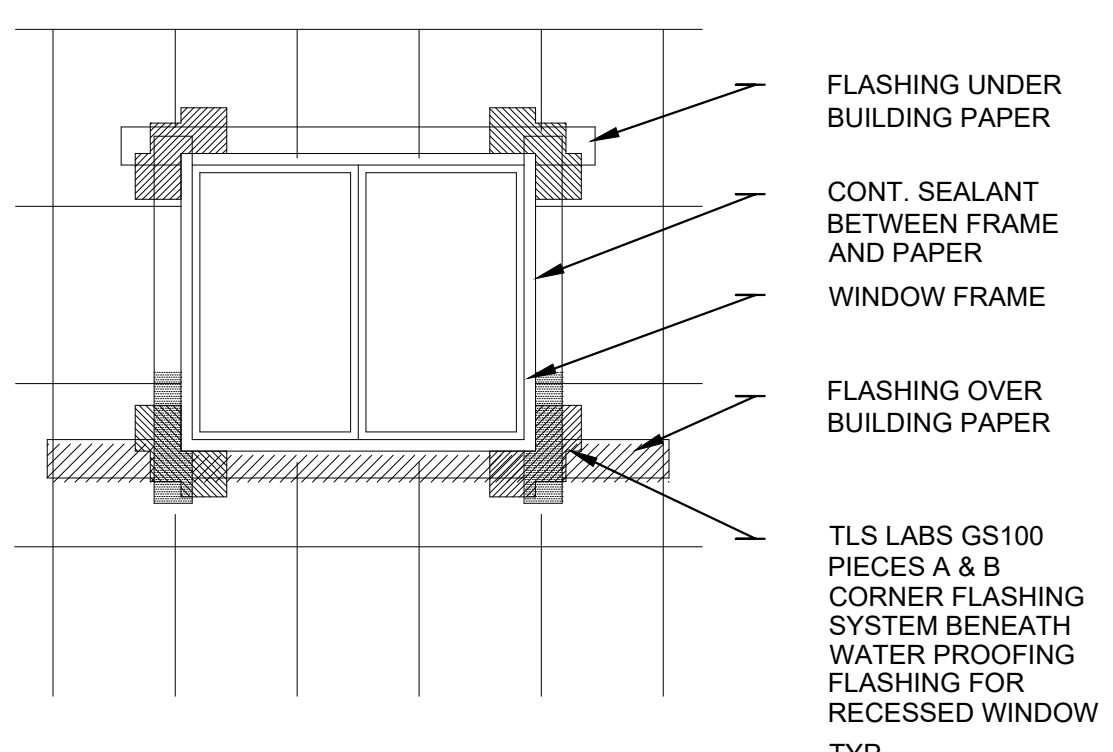
9 PENETRATION DETAIL THROUGH CONC. DECK



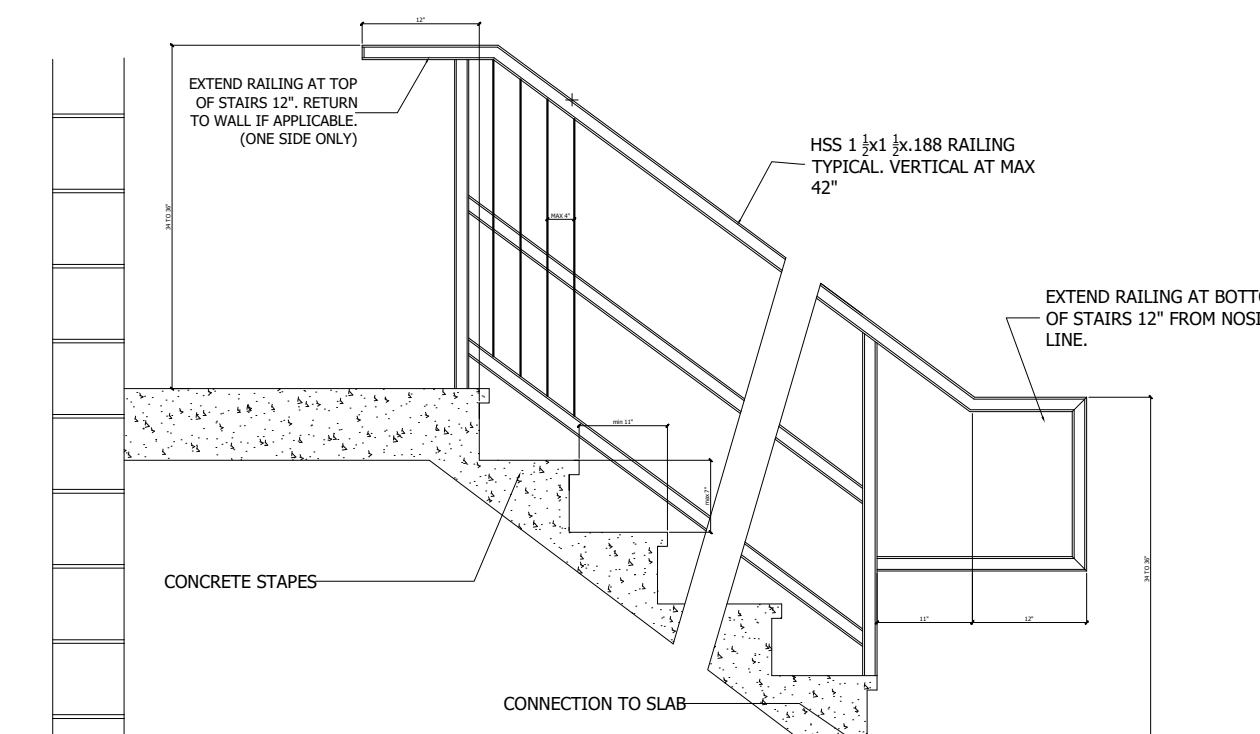
10 STUD WALL DETAIL



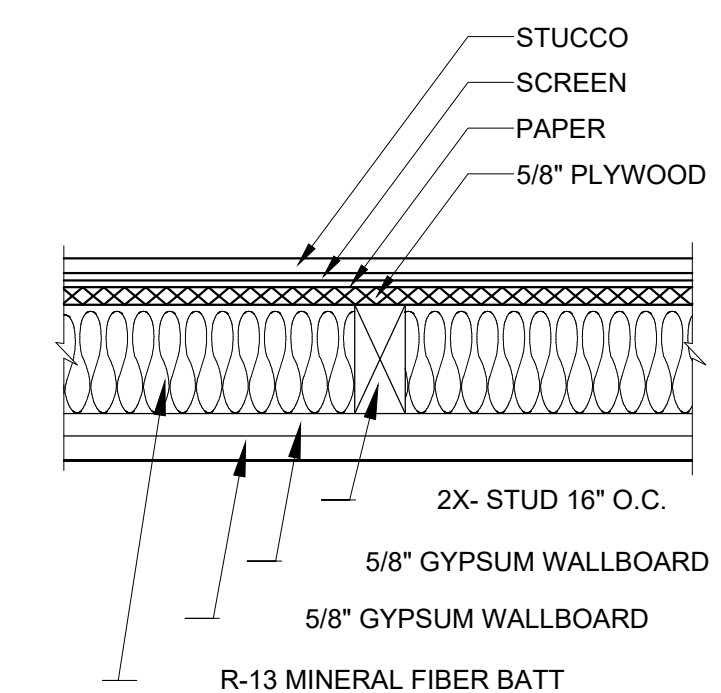
11 WALL SECTION



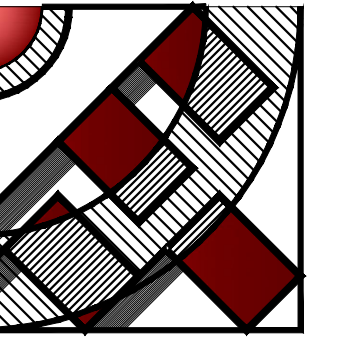
12 EXTERIOR WALL



13 CONCRETE STAIR DETAIL



14 2-HR FIRE RATED EXTERIOR WALL



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NO.	DATE	BY

SCALE: 1/8" = 1'-0"

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

SHEET

AD-2

BUILDING GENERAL NOTES

A. GENERAL REQUIREMENT

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) (SEPARATE PLUMBING PERMIT IS REQUIRED).
3. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
4. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SECTION 1210.3 USE OF WATER RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3
5. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)
6. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). 2405.5
7. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
8. PROVIDE A WEEP SCREED FOR STUCCO AT THE WEEP SCREEDS SHALL BE OF A TYPE ABOVE THE EARTH OF 2 INCHES ABOVE PAVED AREAS. OF THE BUILDING. WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR.
9. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE STOVE OR BARBECUE AND UNOBSTRUCTED
10. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
11. AN APPROVED SEISMIC GAS SHUT OF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.
12. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC.507.3. UPC)
13. UNIT SKYLIGHTS SHALL BE LABELLED BY A LA CITY APPROVED LABELLING AGENCY NAME, PRODUCT, DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED),2405.5.
14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

B. OCCUPANCY CLASSIFICATION

1. WHEN THE SLEEPING UNITS ARE NOT EQUIPPED WITH COOKING FACILITIES AND THE STAY OF THE GUESTS IS NO MORE THAN 30 DAY, THE BUILDING SHALL BE CLASSIFIED AS R1 OCCUPANCY. EVEN WITH COOKING FACILITIES AS THE "EXTENDED-STAY HOTELS", THEY ARE STILL CONSIDERED AS R1 DUE TO THE TIME DURATION OF THE STAY.
2. DORMITORY FOR ELDERLY WITH A 24 HOUR A DAY MEDICAL SUPERVISION WITH MORE THAN 5 OCCUPANTS SHALL BE CLASSIFIED AS 12. (308.4)
3. ALL CONGREGATE FACILITIES SUCH AS SMALL BOARDING HOUSES, CONVENTS, DORMITORIES, MONASTERIES OR NON-TRANSIENT MOTELS FOR BLENDED FAMILIES NO MORE THAN 16 OCCUPANTS AND SMALL ENOUGH TO OPERATE AS A SINGLE FAMILY UNIT SHALL BE CLASSIFIED AS R3 OCCUPANCY. (310.5)
4. ALL INSTITUTIONAL FACILITIES THAT ACCOMMODATE SIX LESS PEOPLE ARE TO BE CLASSIFIED AS GROUP R3.1 (310.5.1). COMPLY WITH SPECIAL REQUIREMENTS PER SECTION 425.
5. RESIDENTIAL CARE / ASSISTED LIVING FACILITIES INCLUDING MORE THAN SIX AMBULATORY CLIENTS (EXCLUDE STAFF) SHALL BE CLASSIFIED AS R4. (310.6)
6. TOWNHOUSES NOT MORE THAN 3 STORIES ABOVE GRANDE IN HEIGHT WITH A SEPARATE MEANS OF EGRESS FOR EACH UNIT SHALL BE CLASSIFIED AS R3 OCCUPANCY. (IF PORTION OF THE MEANS OF EGRESS IS EXITING THROUGH A COMMON AREA SUCH AS AN EXIT COURT ON THE SIDE OF THE BUILDING, THIS TOWNHOUSE SHALL BE CLASSIFIED AS R2 OCCUPANCY.
7. ADULT CARE OF CHILD CARE FOR LESS THAN 24 HOURS WITH SIX LESS PERSONS SHALL BE CLASSIFIED AS R3 OCCUPANCY. (310.5)
8. RESIDENTIAL CARE / ASSISTED LIVING FACILITIES WITH MORE THAN 6 AMBULATORY CLIENTS AND MORE THAN 6 NON-AMBULATORY OR BEDRIDDEN CLIENTS SHALL BE CLASSIFIED AS R4 (310.6) COMPLY WITH SECTION 425 FOR SPECIAL REQUIREMENTS.
9. THIS IS A MIXED OCCUPANCY BUILDING AND SUBJECT TO THE PROVISIONS OF SECTION 508.
10. THE FOLLOWING ARE REQUIRED FOR ATTACHED GARAGE / CARPORT (U OCCUPANCY):
 - a. GARAGE SHALL NOT EXCEED 1000 SQ.FT. OR ONE STORY IN HEIGHT EXCEPT IN A MIXED OCCUPANCY WHERE THE FLOOR AREA SHALL NOT EXCEED 3000 SQ.FT.
 - b. SEPARATION FROM OTHER THAN PRIVATE GARAGES ADJACENT TO DWELLING UNITS SHALL COMPLY WITH SECTION 508 AND TABLE 508.4 (406.3.4)
 - c. SEPARATION FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE (406.3.4).
 - d. SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LEAS THAN A 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2-INCH GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION (406.3.4)
 - e. DOOR BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 THICK, OR HAVE MINIMUM FIRE PROTECTION RATING OF 20 MINUTES. (406.3.4)
 - f. DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN. 0.019-INCH (0.48MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (406.3.4)
 - g. EXTERIOR WALLS OF A U OCCUPANCY LESS THAN 5' FROM A PROPERTY LINE MUST BE ONE-HOUR CONSTRUCTION WITHOUT OPENINGS. (T602)
 - h. GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. (406.3.4)
 - i. CONCRETE OR SIMILAR NONCOMBUSTIBLE AND NONABSORBENT FLOOR, OR ASPHALT SURFACE AT GROUND LEVEL ONLY. THE MIN. THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3-1/2 INCHES. (406.4.5)

C. FIRE-RESISTANCE RATED CONSTRUCTION

1. FIRE RATED ASSEMBLIES SHALL BE PER TABLE 720. GENERIC ASSEMBLIES OF GYPSUM HANDBOOH, HAVE LARR APPROVAL OR ICC APPROVAL.
2. OPENINGS
 - a. DOOR OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4-HOUR) OR (1 1/2 HOUR) FIRE ASSEMBLIES (NOT PERMITTED) (715.4)
 - b. WINDOWS OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4-HOUR) OR (1 1/2 HOUR) FIRE ASSEMBLIES (NOT PERMITTED) (715.5)
 - c. DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
 - d. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED34" MIN. AND 48" MAX ABOVE FINISHED FLOOR.
3. OPENINGS THROUGH A FLOOR/ CEILING ASSEMBLY SHALL BE PROTECTED BY (2) HOUR SHAFT ENCLOSURE. THE SHAFT ENCLOSURE SHALL BE CONSTRUCTED OF FIRE BARRIERS AND HORIZONTAL ASSEMBLIES. (707)
4. PENETRATIONS IN A FIRE-RATED WALL SHALL BE PROTECTED BY AN APPROVED FIRE STOP MATERIAL IN ACCORDANCE WITH SECTION 713.3.1.
 - STEEL, COPPER OR FERROUS PIPES OR DONDUITS MAY PENETRATE CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAXIMUM 6-INCH DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES.
 - MEMBRANE PENETRATIONS OF MAXIMUM 2-HR FIRE-RESISTANCE RATED WALL AND PARTITIONS BY STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT EXCEED 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 24 INCHES. (714.3.2)
 - WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR WHERE LARGER OPENINGS ARE REQUIRED THAN PERMITTED IN (B) ABOVE, THEY MUST BE QUALIFIED BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION 714.3.1.1
6. SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 716.3.2
 - a. DUCT PENETRATIONS OF FIRE WALLS IN ACCORDANCE TO SECTION 716.1.1
 - b. DUCT PENETRATIONS OF FIRE BARRIERS, EXCEPT EXIT ENCLOSURES AND EXIT PASSAGEWAYS WHERE THEY ARE NOT ALLOWED TO PENETRATE. (716.5.2)
 - c. DUCTS PENETRATING SHAFTS. (716.5.3)
 - d. DUCTS PENETRATING FIRE PARTITIONS AND FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR (716.5.4.1)
 - e. DUCTS PENETRATING SMOKE BARRIERS (716.5.5)
 - f. DUCTS PENETRATING HORIZONTAL ASSEMBLIES (716.6)
6. DRAFT STOP.
 - a. IN BUILDING USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN WOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. DRAFT STOPPING SHALL BE LOCATED ABOVE AND INLINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATION.
 - b. IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANSARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION DRAFTS TOPPING SHALL BE INSTALLED ABOVE AND INLINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE FLOOR SHEATHING ABOVE (718.4.3).
 - c. DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH PLYWOOD, 3/8-INCH TYPE 2-M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT. DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED. (718.3.1)
7. DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (3000 SF BETWEEN DRAFT STOPS) (118.4.2)
8. DRAFT STOPS SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS) (117.4.3)
9. HORIZONTAL OCCUPANCY SEPARATION MUST BE SUPPORTED WITH A STRUCTURAL SYSTEM HAVING EQUIVALENT FIRE-RESISTIVE PROTECTION.(704.1)
10. FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 717 AT THE FOLLOWING LOCATION:
 - a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
 - b. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - c. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT OFFISH, DROP CEILINGS AND COVE CEILINGS.
 - d. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.
 - e. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
11. THIS BUILDING IS OF TYPE V-A CONSTRUCTION:
 - a. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.
 - b. ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION.
 - c. ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BFE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.
 - d. ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND CEILING OF _____ HOUR FIRE RESISTIVE CONSTRUCTOIN. (707.4)

- e. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL" TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
 - f. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.
 - g. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED. (716.5)
 - h. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. NSULATION IS NOT APPROVED. (712.4.1.1)
 - i. PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBALE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS. (716.6)
 - j. STEEL BEAMS AND COLUMNS SHALL BE PROTETED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPACY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BFE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBRES. (714.2)
 - k. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.
12. S2 OCCUPANCY. TYPE 1 CONSTRUCTION GARAGE REQUIRES 2 HOUR SEPARATION (MIN. FLOOR ASSEMBLY FOR S2 OCCUPANCY) FROM R2 OCCUPANCY, BUT NOT LESS THAN REQUIRED PER T508.4
 13. S-2 OCCUPANCY GARAE SHALL COMPLY WITSH THE FOLLOWINGS:
 - a. CONCRETE OR SIMILAR NINCOMBUSTIBLE AND NINABSORBENT FLOOR, OR OR ASPHALT SURFACE AT GROUND LEVEL ONLY. (406.2.6)
 - b. SLOPED FLOOR TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (406.2.6)
 - c. FLOOR SYSTEM DESIGNED FOR UNIFORM OR CONCENTRATED LOADS PER TABLE. (1607.1)
 - d. MINIMUM HEADROOM OF 7ft. (406.2.2)
 - e. VEHICLE BARRIERS NOT LESS THAN 2 FEET HIGH PLACED AT THE EHD OF DRIVE LANES, AND AT THE END OF PARKING SPACES WHERE THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS GREATER THAN 1 OOT. (406.2.4)
 - f. VEHICLE BARRIERS DESIGNED IN ACCORDANCE WITH SECTION - 1607.7

D. INTERIOR FINISHES

1. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN T803.11. SPECIFY INTERIOR WALL AND CEILING FINISH ON PLANS.
2. MATERIALS, OTHER THAN FOAM PLASTICS, USED AS INTERIOR TRIM SHALL HAVE A MIN. CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEX AND SHALL HAVE A MIN. CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEX AND SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA IN WHICH IT IS ATTACHED. (LAFc 804.1)
3. CURTAINS, DRAPERIES, FABRIC HANGINGS, AND SIMILAR COMBUSTIBLE DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA TO WHICH SUCH MATERIALS ARE ATTACHED. (LAFc 807.3)"
4. IN EVERY GROUP A.E.I.R-1. AND R-2.1, ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL SHALL BE MADE FROM A NONFLAMMABLE MATERIAL OR TREATED AND MAINTAINED IN A FLAME RETARDANT CONDITION BY MEANS OF A FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE OSFM. (TITLE 19. Div 1.3.08)"

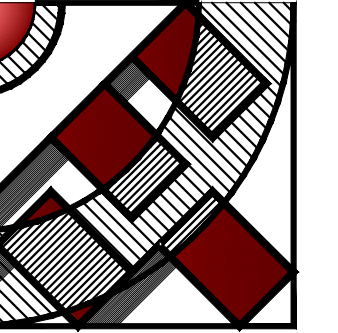
F. MEANS OF EGRESS

1. ALL STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPES PERMITTED FOR THE TYPE OF CONSTRUCTION OF THE BUILDING, EXCEPT THAT WOOD HANDRAILS SHALL BE PERMITTED FOR ALL TYPES OF CONSTRUCTION (1026.5)
2. EXTERIOR EXIT STAIRS, BALCONIES AND RAMPS SHALL BE LOCATED AT LEAST 10 FEET FROM ADJACENT LOT LINES AND FROM OTHER BUILDINGS ON THE SAME LOT (1027.3)
3. ALL EXIT DOORS SHALL COMPLY WITH SECTION 1008-1008.1
 - a. CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN.32" OR PER TABLE 1005.1, WHICHEVER IS GREATER.
 - b. MIN. DOOR HEIGHT OF 6'-8"
 - c. SHALL BE CAPABLE OF OPENING 90 DEGREES.
 - d. THE MAXIMUM WITH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL.
 - e. EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.
4. THE EXIT PATH SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. (1011)
5. PROVIDE A 1HR. FIRE RATED CORRIDOR IN ACCORDANCE WITH TABLE 1018.1.
 - a. OCCUPANT LOAD 30
 - b. OCCUPANT LOAD 10
6. DETAIL AND REFERENCE ALL RATED CORRIDOR CONSTRUCTION AND PROTECTED OPENING IN ACCORDANCE TO SECTION 709 FOR FIRE PARTITIONS. PROTECTION TO BE OF A 20MIN. DOORS AND 45MIN. FOE OTHER OPENINGS. (1018.1)

7. PROVIDE A MINIMUM CORRIDOR WIDTH PER TABLE 1018.2 OR PER SECTION 1005.1 (1018.2)
8. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.50" IN HEIGHT. 0.75" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS. (1008.1.7)
9. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)
10. VERTICAL EXIT ENCLOSURES(1022.2)
 - a. CONNECTING 4-STOREIS MORE: PROVIDE 2-HOUR FIRE RESISTANCE RATING CONSTRUCTION (FIRE BARRIER).
 - b. CONNECTING UP TO 3-STORIES PROVIDE 1-HOURE FIRE RESISTANCE RATING CONSTRUCTION (FIRE BARRIER).
 - c. ALL OPENING TO BE PROTECTED IN ACCORDANCE TO SECTION 716. OPENINGS SHALL BE LIMITED TO THOSE NECESSARY FOR EXIT ACCESS TO THE ENCLOSURE FROM NORMALLY OCCUPIED SPACE AD FOR EGRESS FROM THE ENCLOSURE. (1022.4)
11. EGRESS BALCONIES TO COMPLY SECTION 1019. DETAIL PLANS TO MEET ALL REQUIREMENTS.
12. ONE OPENABLE WINDOW WITH AN OPENING AREA OF NOT LESS THAN 5.7 SQ.FT., MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (1029)
13. COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FT OR 125 FT PROVIDED THE R2 IS PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDING WITH SECTION 903.3.1.1
14. AREA OF REFUGE CAN NOT PROJECT INTO EGRESS OF TRAVEL.

G. EXIT NOTE

1. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
2. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).
3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.
4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
5. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMERY POWER LOSS (1011.2-1011.5.3).
6. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
7. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
8. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.1.9
9. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. THR MEANS OF EGRESS ILLUMINATION LENEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT WALKING SURFACE. (1006.1)
10. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREA (1006.3):
 - a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS;
 - b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS;
 - c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1024.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - e. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.5, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
11. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGEF BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.
12. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED SLONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1006.3)
13. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403
14. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100' FROM THE NEAREST VISIBLE EXIT SIGN. (CBC 1013.1)
15. EMERGENCY AND STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2 HR. MIN. UNLESS SPECIFIED OTHERWISE.



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SHEET TITLE:

GENERAL BUILDING NOTES

REVISION:

NO.	DATE	BY
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-	-	-
-	-	-

SCALE:	-
DESIGN & DRAWN:	FMI
DATE:	01.12.21
JOB NUMBER:	

SHEET

N-1.0

BUILDING GENERAL NOTES

H. INTERIOR ENVIRONMENT

1. PROVIDE STAIRWAY ILLUMINATION MIN. 1 FOOT-CANDLE AT TREAD
2. PROVIDE 23" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS 1008.1.1
3. ONE ROOM MUST BE MIN. OF 120 SQ.FT. IN AREA OTHER HABITABLE ROOMS, EXCEPT KITCHEN MUST BE A MIN. OF 70 SQ.FT. (1208.3)
4. HABITABLE ROOMS OTHER THAN A KITCHEN SHALL NOT LESS THAN 7' ANY DIRECTION (12.08.1)
5. REQUIRED CEILING HEIGHT IS 7'-6" MIN., 7'-0" MIN. IN KITCHEN, BATHROOM, LAUNDRY ROOMS AND STORAGE ROOMS. (1208.2)
6. PROVIDE NATURAL LIGHT IN (HABITABLE ROOMS) BY MEANS OF EXTERIOR WALL OPENING WITH AN AREA NOT LESS THAN 8% OR FLOOR AREA. (1205.2)
7. PROVIDE NATURAL LIGHT FOR ADJOINING SPACES (1205.2.1)
8. PROVIDE NATURAL VENTILATION IN (HABITABLE ROOMS) (BATHROOMS) BY MEANS OF OPERABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF FLOOR AREA. MECHANICAL VENTILATING SYSTEM MAY BE PERMITTED (1204.3)
9. PROVIDE NATURAL VENTILATION FOR ADJOINING SPACES (1203.4.1)
10. FOR THE PURPOSE OF PROVIDING NATURAL LIGHT OR VENTILATION AT EXTERIOR OPENINGS OF BUILDINGS, A MIN. YARD OF 3 FEET IN WIDTH FOR ONE AND TWO STORY BUILDING IS REQUIRED. FOR BUILDINGS MORE THAN TWO STORIES, THE MIN. WIDTH OF THE YARD SHALL BE INCREASED TO 1 FOOT FOR EACH ADDITIONAL STORY 1206.2
11. COURTS USED FOR NATURAL LIGHT OR VENTILATION AND HAVING WINDOW OPENING ON OPPOSITE SIDE SHALL BE LESS THAN 6 FEET IN WIDTH. COURTS BOUNDED ON THREE OR MORE SIDES BY THE WALL OF THE BUILDINGS SHALL NOT BE LESS THAN 10 FEET IN LENGTH, UNLESS BOUNDED ONE END BY A PUBLIC WAY OR YARD. FOR BUILDINGS MORE THAN TWO STORIES IN HEIGHT, THE COURT SHALL BE INCREASED 1 FOOT IN WIDTH AND 2 FEET IN LENGTH OF EACH ADDITIONAL STORY. (1206.3)
12. A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM AND LAUNDRY, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECT TO THE OUTSIDE, IS REQUIRED.
13. ATTIC VENTILATION OF $\frac{1}{10}$ OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. ATTIC ARE) IS REQUIRED. (1203.2)
14. AN ATTIC ACCESS OPENING (20"X30") IS REQUIRED AT EACH SEPARATE ATTIC SPACE WITH A MINIMUM OF 30" CLEARANCE (1209.2)
15. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN $\frac{1}{10}$ OF UNDER FLOOR AREA. (1203.1)
16. SHOW MINIMUM 18"X24" UNDER FLOOR ACCESS OPENING. (1209.1)
17. OPENINGS BELOW GRADE FOR THE PURPOSE OF NATURAL VENTILATION SHALL HAVE A MINIMUM SIZE ACCORDING TO (1203.4.1.2)
18. PROVIDE A DOOR AND WINDOW SCHEDULE. SHOW TYPE AND SIZE OF EACH.
19. FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 802. / 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.
20. PROVIDE SHOWER AND LOCKER FACILITIES AS REQUIRED BY SECTION 63.07
- 21- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES ABOVE THE SHOWER DRAIN OUTLET. (LAPC 411.7)
22. TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FRIST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL OF AREA FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
23. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4" (1210.1)
24. WALLS WITHIN 2 FEET (610 MM) OF THE FRONT AND SIDES OF URINALS AND WATER CLOSET SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SOOTH, HAED NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FEET (1219MM), AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTUER. (807.102)
25. CEMENT, FIBERCEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANCE GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPATMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2509.2
 - a. OVER A VAPOR RETARDER.
 - b. IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS.
 - c. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR 1/2
26. PROVIDE SEPARATION BY A LIGHTING DOOR BETWEEN FOOD PROPORTION AREA(S) (INCLUDING FOOD STORAGE ROOM) AND TOILET ROOM(S) (6302.5)

27. ONE ELEVATOR IN BUILDINGS FOUR OR MORE STORIES ABOVE OR BELOW GRADE PLANE SHALL BE OF SUCH A SIZE TO ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. SEE 3002.4A FOR EXCEPTIONS. 91.3002.4
28. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE FLOOR LEVEL. (1205.1 AND 1205.3)

I. BUILDING ENVELOPE

1. A FIRE RETARDANT ROOF COVERING IS REQUIRED. PROVIDE A COMPLETE DESCRIPTION ON PLANS. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZARD SEVERITY ZONE. (1505.1,7207.4)
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND SOORS. (6306)
3. IN R2 OCCUPANCY, WINDOW SILL OF OPENABLE WINDOWS MORE THAN 72 INCHES ABOVE FINISHED GRADE OR OTHER SURFACE BELOW SHALL NOT LESS THAN 24 INCHES FROM FINISHED FLOOR OF THE ROOM IT IS LOCATED IN (1405.13.2)
4. DETAIL OF THE GUARDRAILS AT THE FLOOR AND ROOF OPENINGS OCCUPIED ROOFS AND BALCONIES OR PORCHES MORE THAN 30" ABOVE GRADE ARE REQUIRED. GUARDRAILS SHALL BE 42" IN HEIGHT, HAVE INTERMEDIATE RAILS OR BALUSTERS SPACED AT 4" (1013.2)
5. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFETY GLAZING. GLAZING IN: SECTION 2406
 - a. SWING DOORS.
 - b. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
 - c. STORM DOORS.
 - d. UNFRAMED SWINGING DOORS.
 - e. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.
 - f. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 mm) ARCOF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - g. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS e AND f, WHCH MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - i. EXPOSED AREA OF AN INDIVIDUAL PANE GRATER THAN 9 SQUARE FEET.
 - ii. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - iii. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - iv. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
 - h. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE, INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
 - i. WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:
 - i. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.
 - ii. THE GLAZING IS WITHIN 60 INCHES OF A SWIMMING POOL OR SPA WATER'S EDGE.
 - j. ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - k. ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY FIRECTION EHEN THE EXPOSED SURFACE IF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).
 - l. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. (L.A.M.C.)
 - m. PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4" ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.

J. ACCESSIBILITY

- ADAPTABLE BATHROOMS AND FIXTURE ELEVATIONS:
- a. LAVATORIES SHALL BE AT 34" MAX A.F.F., 27" MIN. KNEE CLEAR AT 19" MIN. DEEP AND 24" MIN. CLEAR FROM C/L TO ADJACENT WALL TO ALLOW A PARALLEL APPROACH AND REMOVABLE BASE CABINETS AND FINISHED FLOOR BELOW.
 - b. SHALL PROVIDE GRAB BAR BACKING FOR ALL W/C'S TUBS AND ROLL-IN SHOWERS.
 - c. PROVIDE 17" - 18" FROM C/L OF W/C'S TO ADJACENT WALL. TOWEL BARS SHALL BE AT 40" MAX. A.F.F..
 - e. 60" DIAMETER MANEUVERING SPACE INSIDE BATHROOMS IS REQUIRED.
 - f. MIN.30"X48" CLEAR PARALLEL TO SHOWER CONTROL IS REQUIRED.
- KITCHEN ELEVATIONS:
- a. PROVIDE 30" KITCHEN SINK AND 30" KITCHEN WORK COUNTERS WITH REMOVABLE BASE CABINETS AND FINISHED FLOOR BELOW AND WITH KNEE AND CLEARANCES.

- b. PROVIDE SHOW 2 - 15" BREADBOARDS IN LIEU OF THE 30" KITCHEN WORK COUNTER
- c. MIN. 48" CLEAR ACCESS AISLE AT KITCHEN IS REQUIRED.
 - 10" KICK PLATE AT BOTTOM OF ALL DOORS IS REQUIRED.
 - THREE CONDITIONS FOR "LIVE-WORK RESIDENTIAL UNITS.
- a. LIVE-WORK RESIDENTIAL UNITS "WILL NOT OPEN TO THE PBLIC"
- b. LIVE-WORK RESIDENTIAL UNITS "WILL NOT BE USED FOR INSTRUCTIONAL CLASSES NOR WILL BE IT BE USED FOR RETAIL PURPOSES.
- c. THERE WILL BE NOT EMPLOYEES IN THESE UNITS.
 - WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical)

K. SECURITY REQUIREMENTS

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)
2. Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)
3. Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)
4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)
5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (6709.5, 6709.7)
6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)
7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)
8. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1-3/8 inches and 3 inches in width. (91.6709.1 item 2)
9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel from track while in the closed position. (6710)
10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.1
11. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)
12. Provide metal guards at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)
13. In Group B, F, M, and S occupancies, panes of glazing with at least one dimension greater than 5 in. but less than 48 in, shall be constructed of tempered or approved burglary-resistant material or protected with metal bars or grilles (6714)
14. Glazed openings within 40" of the required locking device of the door, when the door is in the closed and locked position and when the door is operable from the inside without use of key, shall be fully tempered glass per Section 2406, or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to slide glass doors which conform to the provisions of Section 6710 or to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)
15. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)
16. Other operable windows shall be provided with substantial locking devices. In Group B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)
17. Sliding windows shall be provided with locking devices. A device shall be installed in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1
18. Sliding glass windows sash shall be closed and locked when subjected to the tests specified in Sec. 6717.2.
19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (6715.4)
- 20 All other openings other than doors or glazed openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716.6)
21. THE BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72"

22. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.

THIS NOTE SHALL APPLY TO ALL NEW BUILDINGS MEETING ANY ONE OF THE FOLLOWING CONDITIONS:

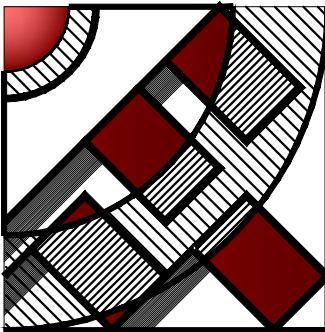
 - a. THERE ARE MORE THAN 3 STORIES ABOVE GRADE PLANE.
 - b. THE TOTAL BUILDING AREA IS 50,000 SF. OR MORE.
 - c. THE TOTAL BASEMENT OR PARKING AREA IS 10,000 SF. OR MORE.
 - d. ANY BASEMENT OR LEVEL THAT EXTENDS 2 OR MORE STORIES BELOW GRADE PLANE.
 - e. ANY BUILDING THAT IS 21,000 SF. OR GREATER AND IS EQUIPED WITH A SOLAR VOLTAIC SYSTEM.

E. FIRE PROTECTION

1. BUILDING WITH FLOOR AREAS OVER 1500 SF SHALL BE SPRINKLED WHERE 20 SF OPENING FOR EVERY 50 FT. OF WALL LENGTH IS NOT PROVIDED (903.2.11.1)
2. AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT ALL BUILDINGS WITH GROUP "R" FIRE AREA. THIS BUILDING AND GARAGE MUST BE EQUIPED WITH AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH (NFPA-13/NFPA-13R); THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. " (903.2)
3. EXCEPTION TO, OR REDUCTION IN BUILDING CODE REQUIREMENTS BASED ON THE INSTALLATION OF AUTOMATIC FIRE EXTINGUISHING SYSTEM IS NOT ALLOWED FOR R OCCUPANCIES (903.2.8, T504.3, T504.4 & T506.2)
4. SHOW THE LOCATION ON THE PLAN I, II OR III STANDPIPE (DRY, WET, COMBINATION) ARE REQUIRED IN THIS BUILDING. (905.3.1)
5. PROVIDE AUTOMATIC SPRINKLER SYSTEM AT TOP OF RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOM (903.2.11.2)
6. WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET SHALL PROVIDE AUTOMATIC FIRE EXTINGUISHING SYSTEM OR CLASSIFY ROOM WITH OCCUPANCY COMPLY WITH SEPARATION PER TABLE 509
7. THE TYPE I PARKING STRUCTURE PERMITTED BY SECTION 5 TO 3 IS A STORY (FIRST STORY) AND NOT A BASEMENT. BECAUSE OF THIS, THE STRUCTURE IS 4 STORIES IN HEIGHT AND REQUIRES SPRINKLERS THROUGHOUT (903.2)
8. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
9. THIS NOTE SHALL APPLY TO ALL NEW BUILDINGS MEETING ANY ONE OF THE FOLLOWING CONDITIONS:
 - a. THERE ARE MORE THAN 3 STORIES ABOVE GRADE PLANE
 - b. THE TOTAL BUILDING AREA IS 50,000 SF OR MORE
 - c. THE TOTAL BASEMENT OR PARKING IS 10,000 SF OR MORE.
 - d. ANY BASEMENT OR LEVEL THAT EXTENDS 2 OR MORE BELOW GRADE PLANE
 - e. ANY BUILDING THAT IS 21,000 SF. OR GRETER AND IS EQUIPED WITH A SOLAR VOLTAIC SYSTEM

L. BICYCLE PARKING

1. For residential buildings containing more than three dwelling units or more than five guest rooms both short and long term shall be provided:
 - Short-term bicycle parking shall be provided at a rate of one per ten dwelling units or guest rooms, but no less than 2. Provide a minimum of _____ short-term bicycle parking spaces
 - Long-term bicycle parking shall be provided at a ratio of one per dwelling unit or guest room. Provide a minimum of _____ long-term bicycle parking spaces
2. Each bicycle parking space shall be a minimum six feet in length.
3. Bicycle parking installed vertically shall be a minimum of 4 feet deep and 6 feet in height.
4. For single-tiered bicycle parking, minimum headroom of 7 feet shall be provided.
5. For facilities where two tiers of bicycle parking are installed one above another, minimum headroom of 4 feet shall be provided for each tier.
6. Bicycle parking spaces shall be separated from automobile parking spaces or aisles by a wall, fence, or curb or by at least five feet of open space marked to prohibit parking.
7. For long-term bicycle parking:
 - Shall be secured from the general public, roofed, and enclosed on all sides to protect bicycle from inclement weather
 - Provide a minimum of 18 inches wide stall
 - Bicycle parking stall shall provide a means of securing the bicycle frame at two points to a securely anchored rack, except in the case of lockers and commercially operated attended bicycle parking
 - Individual racks installed side by side to one another within bicycle rooms or bicycle cages that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center
 - Racks installed parallel to walls shall be a minimum of 30 inches from the wall
8. For short-term bicycle parking:
 - Provide a minimum of 2 feet wide stall
 - Racks shall be located outside the building, with exception for existing developments
 - Individual racks installed side by side to one another that allow bicycles to be locked to either side of the rack shall be spaces a minimum of 30 inches on center
 - Racks installed parallel to walls shall be a minimum of 30 inches from the wall
 - Racks shall allow for the bicycle frame and at least one wheel to be locked to the racks
 - The bicycle rack shall allow for the use of a cable as well as a U-shaped lock
 - Racks shall be securely anchored to a permanent surface
9. Provide adequate lighting to ensure safe access to bicycle parking facilities in accordance with Section 12.21A.5(k).



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PROJECT :

800 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

GENERAL BUILDING NOTES

REVISION:

NO.	DATE	BY
-	-	-

SCALE:	-
DESIGN & DRAWN:	FMI
DATE:	01.12.21
JOB NUMBER:	

SHEET

N-1.1

FIRE NOTES

INTERIOR FINISHES

- Interior wall and ceiling finish shall have a flame spread index greater than that specified in T803.11. Specify interior wall and ceiling finish on plans. (L AFC 803.3). 32- Material, other than foam plastics, used as interior trim shall have a min Class C flame spread and smoke-developed index and shall not exceed 10 % of the wall or ceiling area in which it is attached. (L AFC 804.1).
- Curtains, draperies, fabric hangings, and similar combustible decorative materials suspended from walls or ceilings shall not exceed 10 % of the wall or ceiling area to which such materials are attached. (L AFC 807.3)*.
- In every Group A, E, I, R-1, R-2, and R-2.1, all drapes, hangings, curtains, drops, and all other decorative material shall be made from a nonflammable material or treated and maintained in a flame- retardant condition by means of a flame-retardant solution or process approved by the OSFM. (Title 19, Div 1. %3.08.

DOORS:

- doors shall be readily operable from the egress side without the use of a key or special knowledge or effort.
- door handles, pulls, latches, locks and other operating devices shall be installed 34" min and 48" max above the finished floor
- doors serving rooms or spaces with an occupant load>49 in a group a, e, i-2, or i-2.1 shall provide panic or fire exit hardware. cbc 1010.1.10

STAIRWAYS:

- MIN. CLEAR WIDTH OF 44". (CBC 1011.2).
- Headroom clearance of 280" (CBC 1011.3)
- Riser heights shall be 7" max and 4" min. Tread depths shall be 11" min. [CBC 1011.5.21*
- Provide a floor or landing at the top and bottom of each stairway. Width and length of the landing shall not be less than the width of stairway served. (CBC 1011.6)
- Stairways shall be built of materials consistent with the type of construction. (CBC 1011.7)te
- Walls and soffits of enclosed usable spaces under stairways shall be protected by 1-hr fire-resistance-rated construction or the fire-resistance rating of the stairway, whichever is greater The open space under exterior stairways shall not be used for any purpose. (CBC 1011.7.3-4) 5 3 76.
- A flight of stairs shall have a vertical rise s12' between floor landings. (CBC 1011.8)
- Stairs shall have handrails on each side. (CBC 1011.11) One stairway shall extend to the roof surface in buildings >3 stories above grade plane. Access to the roof shall be provided through a penthouse. Where roof hatch opening is located within 10' of the roof edge, access shall be protected by guards. (CBC 1011.12-13)".
- exit sign shall be readily visible from any direction of egress travel exit sign placement shall be such that on point in an exit access corridor or exit passageway is more than 100' from the nearest visible exit sign. (cbc 1013.1).

HANDRAILS:

- height between 34"-38" (cbc 1014.2).
- extend horizontally > 12" beyond the top rinsed and continue to slope for the depth of one tread beyond the bottom riser. (cbc 1014.6).
- Intermediate handrails required such all portions of required width are within 30". (cbc 1014.9).

GUARDS:

- required along open-side walking surfaces located > 30" to the floor below. (cbc 1015.2).
- height > 42" cbc 1015.3).
- no openings which allow passage of a sphere 4" in diameter from walking surface to guard height. (cbc 1015.4).
- where roof hatch opening is within 10' of roof edge (cbc 1015.7).

NOTES:

- NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battry backup. (cbc 915.4.2. 2/4)
- NOTE: "In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas for a duration of not <90 min. Emergency lighting facilities shall be arranged to provide initial illumination that is not less than an average of 1 footcandle and a min at any point of.1 footcandle." (CBC 1008.3-5)

I Aisles
II Corridors
III. Exit access stairways and ramps
IV. Interior and exterior exit stairways and ramps
V. Exit passageways
VI. Vestibules and areas on the level of discharge used for exit discharge
VII Electrical equipment rooms
VIII. Fire command centers.
IX. Fire pump rooms
X. Generator rooms.
XI. Public restrooms>300 SF.

- NOTE- "Provide two-way communication at the landing serving each elevator or bank of elevators above or below the level of exit discharge (CBC 1009.8)*
- 4 Exit signs shall be internally or extern ally illuminated" (CBC 132 013.3)*
- NOTE- Tactile exit signs shall be required at the following locations (CBC 1013.4)
 - "EXIT sign at each grade-level exterior door
 - Each exit door that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate:
 - "EXIT STAIR DOWN
 - EXIT RAMP DOWN
 - "EXIT STAIR UP
 - "EXIT RAMP UP
 - "EXIT ROUTE" at each exit door that leads directly to a grade- level exterior exit by means of an exit enclosure or an exit passageway.
 - "EXIT ROUTE" at each exit access door from an interior room
 - "TO EXIT" at each exit door through a horizontal exit.
- NOTE: "Exit signs shall be illuminated at all times. (CBC 1013.5).

- NOTE: "The face of an exit sign illuminated from an external source shall have an intensity of 25 footcandles." (CBC 1013.6.2) 36)
- NOTE: "In case of primary power loss, the sign illumination means shall be connected to an emergency power system for a duration of not <90 minutes". (CBC 1013.6.3)*
- NOTE: "Provide a sign at each floor landing in an interior exit stairway and ramp connecting 3 stories designating the floor level, the terminus of the top and bottom and the identification of the stairway or ramp. The signaled shall also state the story of, and the direction to, the exit discharge and the availability of roof access for the fire department. The sign shall be located 5' above the floor landing." (CBC 1023.9)
- NOTE: "Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required smoke alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (L AFC 907.2.11.5-6) 9
- Carbon monoxide detection shall be provided in the following ocations: (L AFC 915.1.1):
 - Dwelling Units:
 - Outside of each separate sleeping area.
 - Every occupiable level of a dwelling unit.
 - Bedrooms where a fuel-burning appliance is located within or its attached bathroom
 - Sleeping Units."
- NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (L AFC 915.4.2/4)

GREEN NOTES

- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(b) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATE METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12. SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- THE FLOW RATES FOR ALL ALL PLUMBING FIXTURES SHALL COMPLY WITH MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1"
- BUILDING ON SITE WITH 500 SQUARE FEET OR MORE OF CUMMULATIVE LANDSCAPE AREA SHALL HAVE A SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.
- a. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBBS.
 - FOR ONE AND TWO FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
 - FOR SITES WITH OVER 500 SQUARE FEET OF LANDING AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
- WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE.
- BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
- BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH A MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
- WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGE TO THE SEWER.
- THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.2 OR 610.4.1.3
- MATERIALS DELIVERE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OR OTHER SOURCES OF MOISTURE.
- FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE OF FINAL INSPECTION.
- ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT."

12. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4 4.504.3

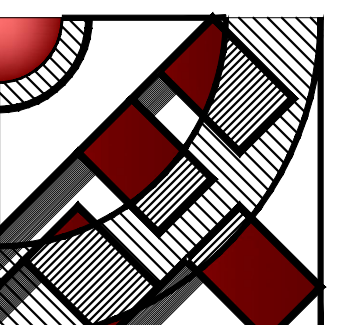
GENERAL NOTES

- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT ALTERNATE FLOORS AND AT THE LOWEST INTAKE.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP
- PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFC 510
- IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE AND MIN. AT ANY POINT OF 1 FOOTCANDLE.
 - AISLES
 - CORRIDORS
 - EXIT ACCESS STAIRWAYS AND RAMPS
 - INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS
 - VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE
 - ELECTRICAL EQUIPMENT ROOMS
 - FIRE COMMAND CENTERS
 - FIREPUMPS ROOMS
 - GENERATOR ROOMS
 - PUBLIC RESTROOMS>300 SF
- PROVIDE TWO WAY COMMUNICATION AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
- MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPSC IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOTCANDLE AT THE WALKING SURFACE.
- TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
 - "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR DOOR.
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE
 - EXIT STAIR DOWN
 - EXIT RAMP DOWN
 - EXIT STAIR UP
 - EXIT RAMP UP
 - EXIT ROUTE AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY.
 - EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - " TO EXIT" AT EACH EXIT DOOR THROUGH HORIZONTAL EXIT.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF 25 FOOTCANDLES
- IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR DURATION OF NOT <90 MINUTES.
- PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING >3 STORIES DESIGNATING THE FLOOR LEVEL THE TERMINUS OF THE TOP AND BOTTOM AND THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING.

CARBON MONOXIDE :

- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN HTE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

3. BASEMENT AND SLEEPING ROOMS BELOW THE 4TH STORY SHALL HAVE AT LEAST 1 EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPEN TO A PUBLIC WAY.



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SHEET TITLE:

GENERAL BUILDING NOTES

REVISION:

NO.	DATE	BY
-	-	-

SCALE: -

DESIGN & DRAWN: FMI

DATE: 01.12.21

JOB NUMBER:

SHEET

N-1.2