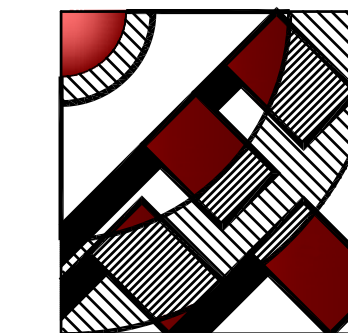


PROPOSED 16-UNITS APARTMENT BUILDING

802 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD., #5 WOODLAND HILLS, CALIFORNIA 91364
TEL.: (818) 932-0393 FAX.: (818) 932-0419

ARCHITECT:

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OWNER :

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

802 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

COVER SHEET

REVISION:

NO. DATE BY

SCALE: -
DESIGN & DRAWN: FMI
DATE: 04.01.18
JOB NUMBER:

SHEET

A-0.0

PROJECT INFORMATION

PROJECT ADDRESS:

800-802-804 N EI CENTRO AVE, LOS ANGELES, CA 90038
5753-5755 W WARING AVE, LOS ANGELES, CA 90038

LEGAL DESCRIPTION:

ASSESSOR PARCEL NO. (APN): 5534031017
TRACT: EL CENTRO TRACT
MAP REFERENCE: M B 2-84
LOT: 24-22
MAP SHEET: 141B189
BLOCK: 11
PIN #: 141B189 100

PROJECT OWNER AND ADDRESS:

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PLANNING AND ZONING INFORMATION:

PROPOSED: 100% PRIVATELY FUNDED 20-UNITS 3-STORY OVER PARKING / BASEMENT APARTMENT BUILDING
ZONING: R3-1XL
LOT AREA: 4,101.2 (sq ft)+4,098.2 (sq ft)=8,199.4 (sq ft)
ALLOWABLE HEIGHT: 45 FEET

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES
APPLICABLE CODES: 2017 LOS ANGELES BUILDING CODE (LABC)
GROUP OF OCCUPANCY: R-2/S-2
TYPE OF CONSTRUCTION: TYPE V-B
SPRINKLER: YES / NFPA 13 SPRINKLER
BUILDING RATE: ONE HR. RATED
EXTERIOR WALLS: ONE HR. RATED

BUILDING SUMMARY:

PROJECT INFORMATION: 16-UNITS 3-STORY APARTMENT BUILDING OVER PARKING / BASEMENT TOTAL OF 4-STORY
16 UNITS 1+1

PARKING SUMMARY:

REQUIRED AUTOMOBILE PARKING :

REQUIRED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1
16 - 1 BED UNITS = 16 BEDROOMS / 16 X 0.5= 8 PARKING SPACES

REQUIRED BICYCLE PARKING :

REQUIRED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS (MIN. 2 PARKING) SHORT TERM.
LONG TERM BICYCLE: 16
SHORT TERM BICYCLE: 2
SUBTOTAL: 18 BICYCLE PARKING

PROPOSED AUTOMOBILE PARKING:

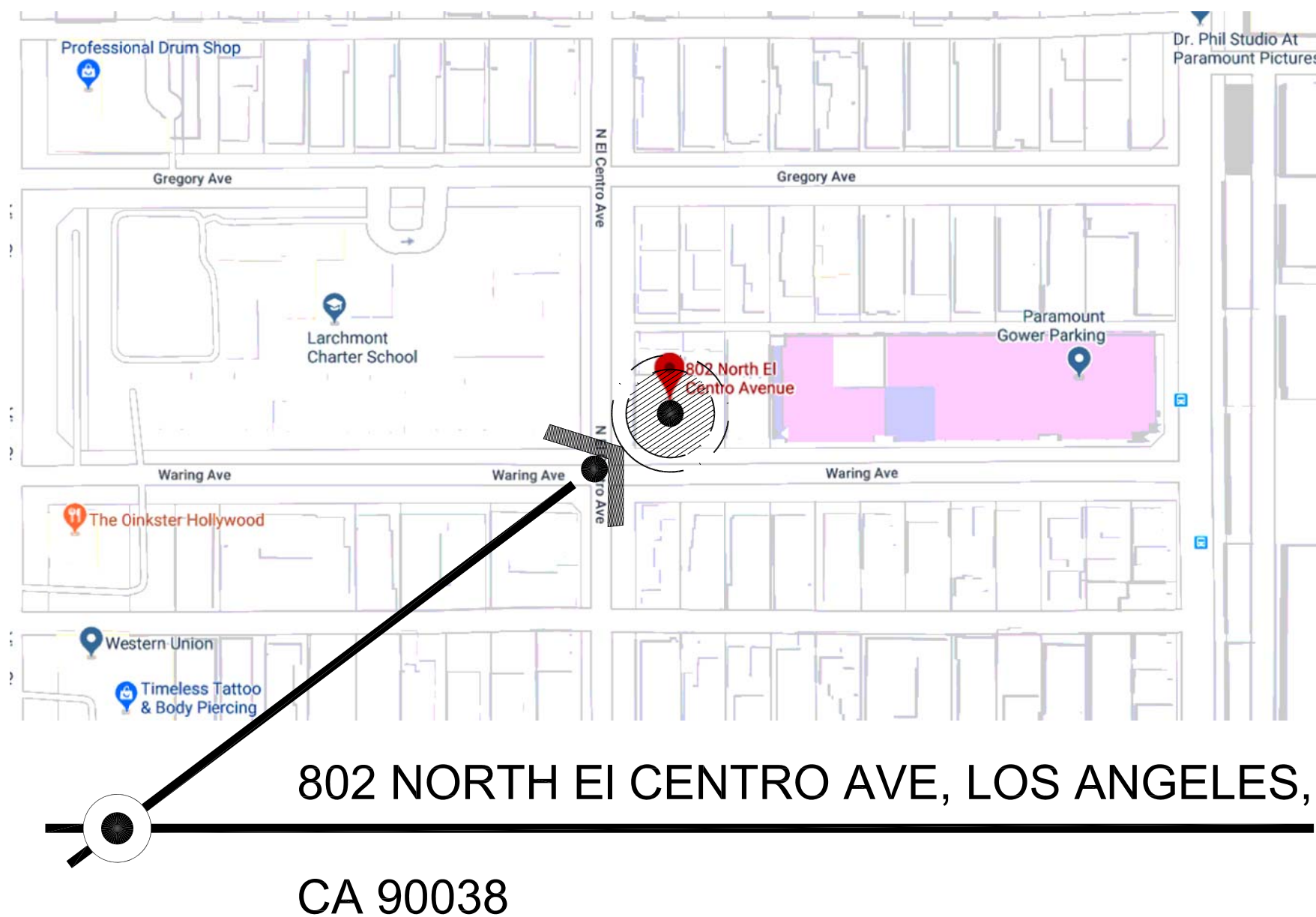
PROPOSED 0.5 PARKING PER BEDROOM, PER TIER1
16 - 1 BED UNITS = 8 BEDROOMS / 16 X 0.5= 8+2=10 PARKING SPACES
ADA 1 PARKING
STANDARD 9 PARKING

PROPOSED BICYCLE PARKING :

PROPOSED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS SHORT TERM.
LONG-TERM BICYCLE 16 PARKING
SHORT-TERM BICYCLE 2 PARKING
PROPOSED 18 BICYCLE PARKING

SUBTOTAL: 10 AUTOMOBILE AND 18 BICYCLE PARKING

VICINITY MAP



NOTES

CODE:

- 2017 LOS ANGELES BUILDING CODE (LABC) BASED ON 2017 CALIFORNIA BUILDING CODE (CBC), GRN, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES ARE APPLICABLE IN THIS PROJECT.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. (BUILDING CODE 903 AND FIRE CODE 903) (UNDER SEPARATE PERMIT)
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DVI, PRIOR TO INSTALLATION.
- A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.4) (UNDER SEPARATE PERMIT)
- THIS BUILDING IS 100% PRIVATELY FUNDED.

INDEX OF DRAWINGS

SHEET	TITLE	SHEET	TITLE
A-0.0 A-0.1	COVER SHEET	T-1	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-1.0	TOPOGRAPHY	T-2	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-1.1	SITE PLAN	T-3	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-2.0	PARKING PLAN	T-4	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-2.1	FIRST FLOOR PLAN	S-0.1	GENERAL NOTES
A-2.2	SECOND FLOOR PLAN	S-1	TYPICAL DETAILS I
A-2.3	THIRD FLOOR PLAN	S-2	TYPICAL DETAILS II
A-2.4	ROOF PLAN	S-3	CONCRETE DETAILS
A-2.5 - A-2.12	LAYOUT PLANS	S-4	ROOF FRAMING / SRCOND FLOOR WALL PLAN
A-3.0	ELEVATIONS	S-5	SECOND FLOOR FRAMING / FIRST FLOOR WALL PLAN
A-3.1	ELEVATIONS	S-6	1ST FL CONCRETE SLAB AND ANCHORAGE PLAN
A-4.0	SECTIONS	S-7	FOUNDATION PLAN
A-5.0	DOORS & WINDOWS SCHEDULE	S-8	PARING WALLS PLAN
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N-2.6 - N-2.9	ACCESSIBILITY NOTES PLAN REVIEW LIST	S-12	CONCRETE SLAB
GRN-0	GREEN NOTES		
SOIL	SOIL APPROVAL		

ATTACHMENT "A"

Attachment "A"
(7-30-99)

Job Address 6506-6510 S MAIN ST, LOS ANGELES, CA 90003 Permit # _____

DEPARTMENT OF BUILDING AND SAFETY Minimum Requirements for Construction Projects/ Certification Statement

The following is intended as an attachment to the construction/grading plans and represent the minimum standards of good housekeeping which must be implemented on all sites as Development Construction Projects.

Development Construction Projects are defined as projects where there is less than two acres of disturbed soil, not located in designate hillside areas, and not in or adjacent to an environmental sensitive areas. Note: A project in a designated hillside area with less than two acres of disturbed soil and not in or adjacent to an environmental sensitive areas may be classified as a Development Construction Project if the Grading Pre-Inspection (GPI) is not required or the entire lot has a slope of ten percent or less.

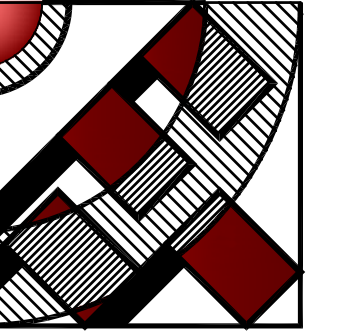
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from site by wind or water
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil nor the surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete waste on-site until they can be disposed of as solid waste.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above, necessary to control stormwater pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print name _____
(Owner or authorized agent of the owner)

Signature _____ Date: _____
(Owner or authorized agent of the owner)

PROJECT INFORMATION



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMOSHIE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

802 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

SHEET TITLE:

REVISION:

NO. DATE BY

SCALE: -

DESIGN & DRAWN: FMI

DATE: 04.01.18

JOB NUMBER:

SHEET

A-0.1

PARKING SUMMARY

AUTOMOBILE PARKING

REQUIRED PARKING SPACES			
UNIT/NO. OF BED RM.	REQUIRED PARKING PER UNIT (TIER1)	NUMBER OF UNITS	NUMBER OF PARKING
2 BED ROOM UNIT	0.5	16 UNITS	8
TOTAL			8

PROPOSED PARKING				
LOCATION	NUMBER OF PARKING			TOTAL
	H/C	STD.	COMPACT	
PARKING FLOOR	1	9	0	10
PROPOSED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1 16 UNITS - 1 BEDROOM = 16 BEDROOMS 16 BEDROOM X 0.5 PARKING = 8 PARKING SPACES. PROPOSED 10 PARKING SPACES (NO GUEST PARKING)				
TOTAL:	10 AUTOMOBILE PARKING			

BICYCLE PARKING

REQUIRED PARKING	
LONG-TERM	SHORT-TERM
ONE PER UNIT = 16	ONE PER 10 UNITS (MIN. 2) = 2
TOTAL	18 BICYCLE PARKING

PROPOSED PARKING	
LONG-TERM	SHORT-TERM
16	2
PROPOSED 22 BICYCLE PARKING	
TOTAL	18 BICYCLE PARKING

UNITS AREA CALCULATION

FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
UNIT-101 (1+1)	727.10	16.00	—	678.60	32.50	—
UNIT-102 (1+1)	762.30	8.00	—	762.30	28.00	—
UNIT-103 (1+1)	655.20	24.90	—	630.30	—	—
UNIT-104 (1+1)	655.20	22.20	—	625.00	8.00	—
UNIT-105 (1+1)	764.10	8.10	—	728.00	28.00	—
UNIT-106 (1+1)	676.00	26.10	—	642.50	7.40	—
FIRST FLOOR TOTAL	4,239.90	105.30	—	4,066.70	103.90	—
FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
UNIT-201 (1+1)	727.10	16.00	—	678.60	32.50	—
UNIT-202 (1+1)	762.30	8.00	—	762.30	28.00	—
UNIT-203 (1+1)	655.20	24.90	—	630.30	—	—
UNIT-204 (1+1)	655.20	22.20	—	625.00	8.00	—
UNIT-205 (1+1)	764.10	8.10	—	728.00	28.00	—
UNIT-206 (1+1)	676.00	26.10	—	642.50	7.40	—
SECOND FLOOR TOTAL	4,239.90	105.30	—	4,066.70	103.90	—
FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
UNIT-301 (1+1)	712.00	31.60	—	647.90	32.50	—
UNIT-302 (1+1)	660.50	40.90	—	609.60	—	—
UNIT-303 (1+1)	660.50	38.20	—	614.30	8.00	—
UNIT-304 (1+1)	680.00	38.20	—	634.40	7.40	—
THIRD FLOOR TOTAL	2,713.00	148.90	—	2,506.20	47.90	—
TOTAL	11,192.800	356.50	—	10,639.60	255.70	—

FLOOR AREA RATIOS

FAR	
SPACE	TOTAL sq. ft.
LOT AREA	8,199.40
FIRST FLOOR AREA	4,900.00
SECOND FLOOR AREA	4,900.00
THIRD FLOOR AREA	3,376.10
TOTAL FLOOR AREA	13,176.10
BUILDABLE AREA	4,900.00

FAR BY RIGHT = 3:1 PER R3 ZONE / FAR BY TIER1 = 2.75:1
BY RIGHT = 4,900.00 X 3 = 14,700.00
BY TIER 1 = 4,900.00 X 2.75 = 13,475.00 > 13,176.10

FLOORS' AREA CALCULATION

FLOOR AREA CALCULATION PER BUILDING CODE ZONING CODE	A	B	C	D	CALC. A-(B+C+D)	E	CALC. A-(B+E)
	GROSS AREA OF BUILDING sq. ft.	EXTERIOR WALLS sq. ft.	CORRIDORS, HALLWAYS, LOBBY	AREA OF COURTS, OPEN SHAFTS, & VENTS sq. ft.	BUILDING CODE AREA sq. ft.	AREA OF STAIRWAYS, SHAFTS, MECH.	ZONING AREA sq. ft.
FIRST FLOOR	4,900.00	105.30	254.10	99.00	4,446.10	605.00	4,189.70
SECOND FLOOR	4,900.00	105.30	254.10	99.00	4,446.10	605.00	4,189.70
THIRD FLOOR	3,376.10	148.90	256.90	99.00	2,871.30	605.00	2,622.20
TOTAL	13,176.10	365.50	765.10	297.00	11,763.50	1,815.00	11,001.60

AREA CALCULATION SUMMARY

PARKING AREA CALCULATION

PARKING AREA	
SPACE	TOTAL sq. ft.
PARKING	1,647.00
BICYCLE PARKING	164.60
TRASH ROOM	122.80
STAIRCASE	318.80
MECHANICAL RM.	49.30
DRIVEWAY	2,185.90
LOBBY	161.20
ELEVATOR	81.00
EXTERIOR WALLS	169.40
TOTAL	4,900.00

OPEN SPACE SUMMARY

OPEN SPACE AREA CALCULATION

REQUIRED OPEN SPACE			
UNIT BY NO. OF BED.	REQUIRED OPEN SPACE PER UNIT (SQ. FT.)	NO. OF UNITS	TOTAL REQUIRED OPEN SPACE (SQ. FT.)
ONE BED. UNIT (> 3 HABITABLE RM.)	100.00	16	1,600.00
TWO BED. UNIT (= 3 HABITABLE RM.)	125.00	-	-
THREE BED. UNIT (< 3 HABITABLE RM.)	175.00	-	-
TOTAL	—	16	1,600.00

PROPOSED OPEN SPACE		
SPACE	LOCATED AT	AREA OF OPEN SPACE (SQ. FT.)
A	REAR YARD	250.00
B	FIRST FLOOR	-
C	SECOND FLOOR	-
D	THIRD FLOOR	1,523.90
TOTAL	A+B+C+D+E	1,773.90

LEGEND:			
WM	WATER METER	—	BOUNDARY LINE
BW	BACK OF WALK	12'	TREE
TW	TOP OF WALL	—	CONC. BLOCK WALL
DWY	DRIVEWAY	—	WOOD FENCE FENCE
TC	TOP OF CURB	—	CONCRETE PAVEMENT
C/L	CENTER LINE	—	BRICK PAVEMENT
+	SPOT ELEVATION	—	HANDICAP ACCESS
EP	EDGE OF PAVEMENT	⊙	SANITARY SEWER MANHOLE
PA	PLANTING AREA		
PP	POWER POLE		
—	DRAIN		
—	CATCH BASIN		

LEGAL DESCRIPTION

LOTS 22 AND 24 OF EL CENTRO TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 2 PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOPOGRAPHIC SURVEY

PREPARED FOR:
LEONARD YAGHOUBI
818-231-8475

NOTES:
1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA
2. MISC. DATA
TOTAL PROPERTY AREA: 8,200 SQ.FT.

BENCH MARK:
CUT SPIKE 3.5FT W OF W CURB VINE ST
5FT N OF WARING AVE SW COR CB
BENCH MARK: 12-13570
DATUM: NAVD 1988
ELEVATION = 284.847'

No.	Revision/Issue	Date

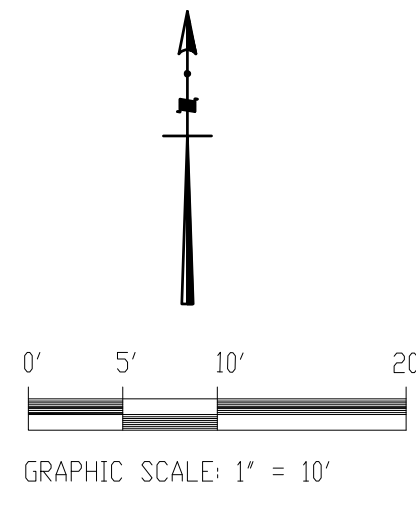
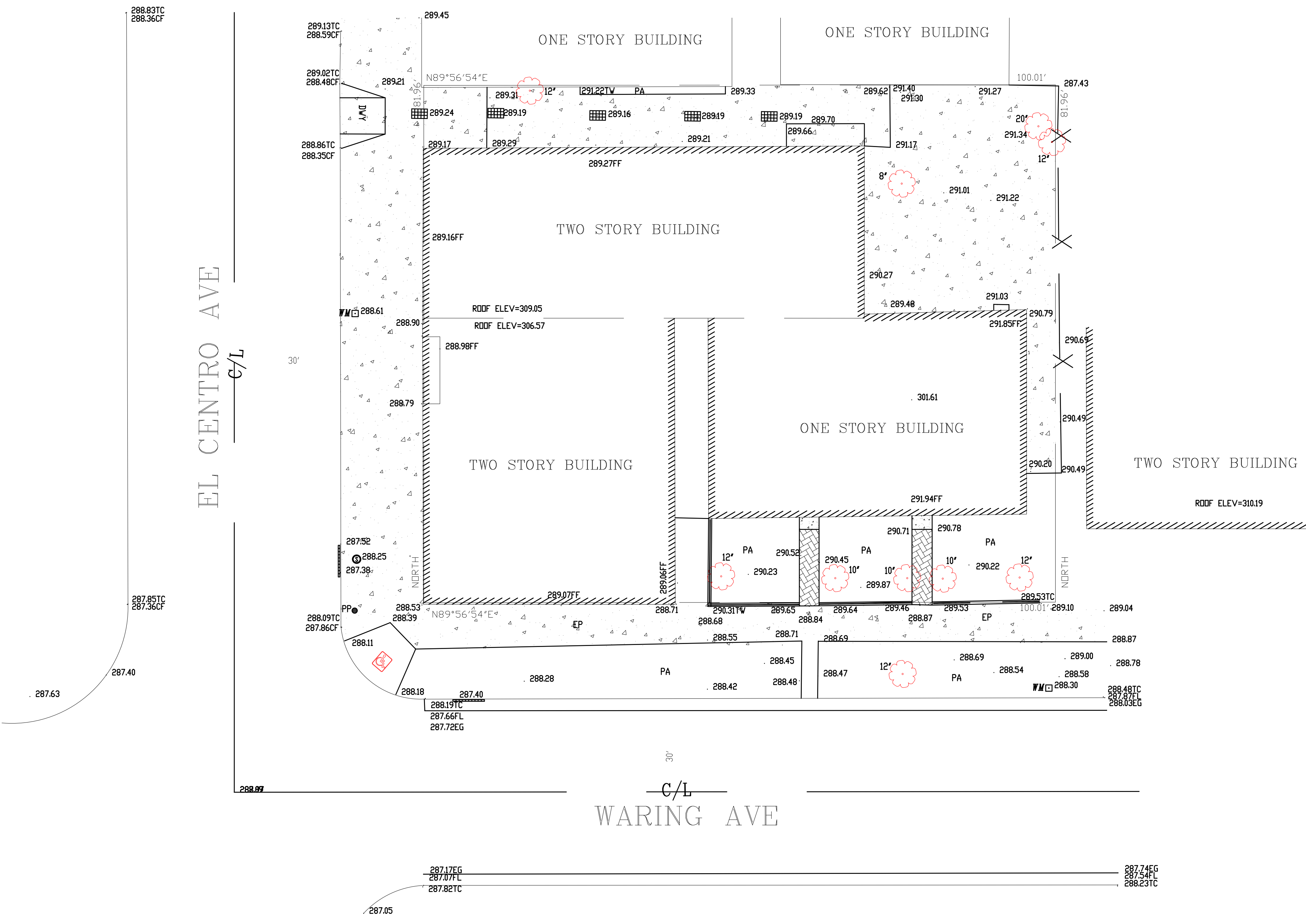
Firm Name and Address

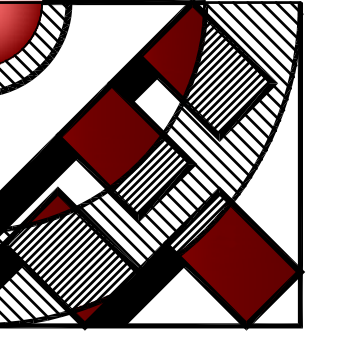
MOLAI LAND & DESIGN
24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
818-325-9225
MOLAI22@YAHOO.COM

Project Name and Address

800 N EL CENTRO AVE
LDS ANGELES , CA 90038

Project	3324	Sheet	1 OF 1
Date	03-16-2018	Scale	1" = 10'
		A-1.0	





FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

ARCHITECT:

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

SITE PLAN

REVISION:

NO. DATE BY

- - -

- - -

- - -

- - -

- - -

- - -

SCALE: 1/8" = 1'-0"

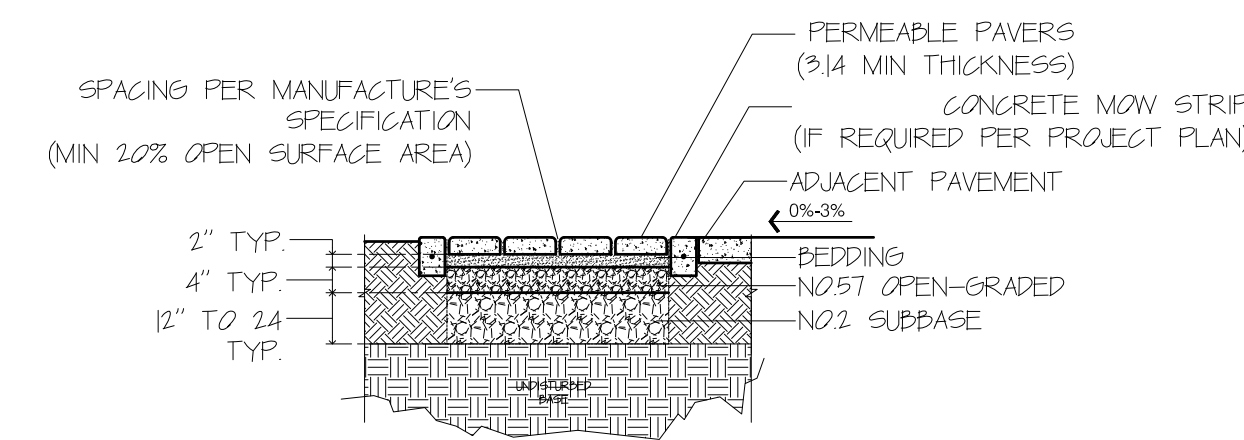
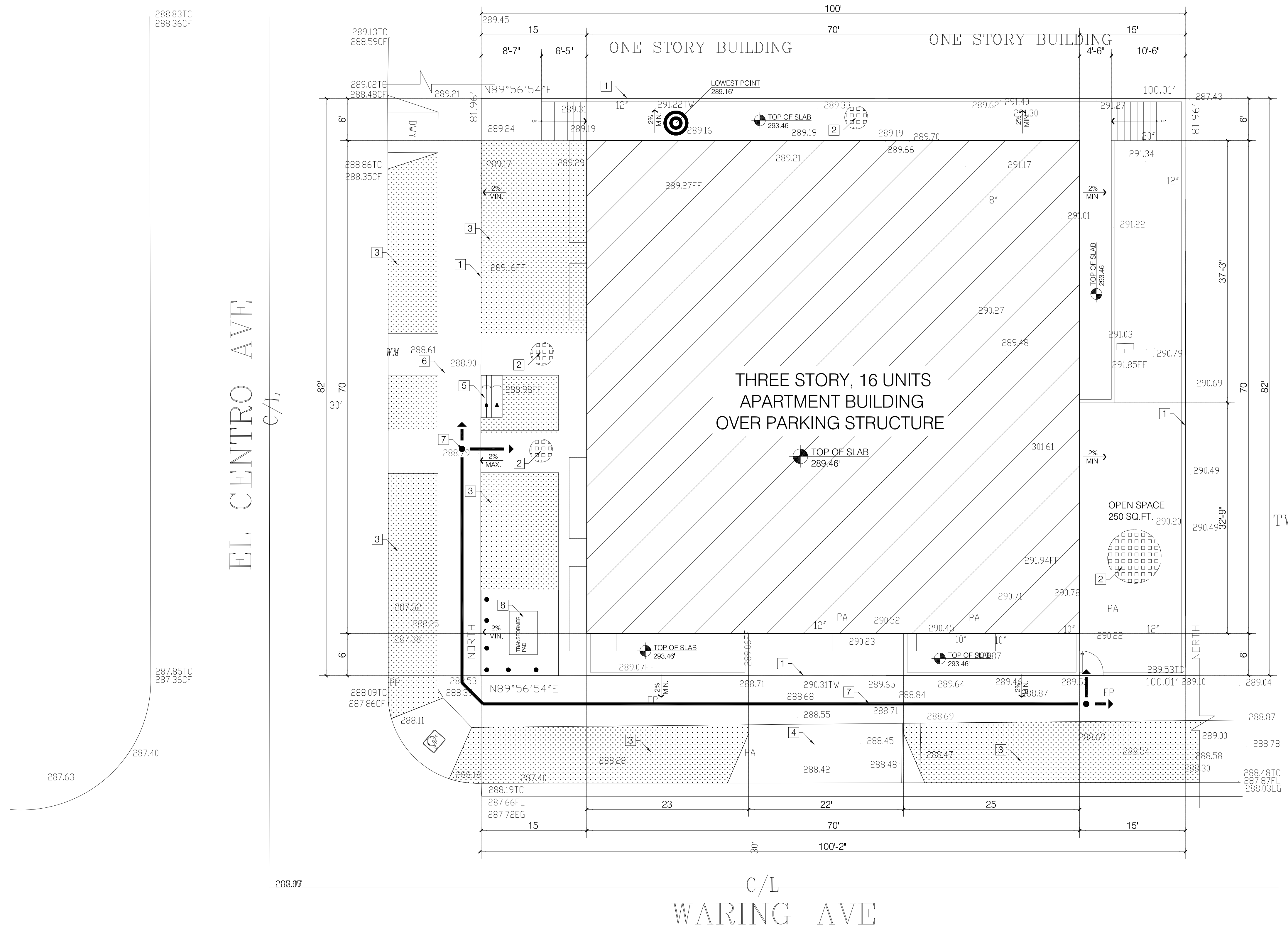
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SHEET

A-1.1

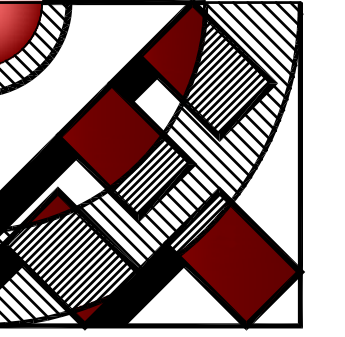


NOTES:
1- SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 1/8" INCHES PER HOUR).
2- INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TRENCH EROSION, OR SLOPE STABILITY.
3- IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER. RED STORM DRAIN FLEET OR DRAIN MAT SYSTEMS SHALL BE REPLACED WITH IMPERMEABLE LEAKY AND UNDERDRAIN SYSTEMS.
4- ANY OVERFLOW SHALL BE PROGRAMMED FOR BURIAL OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
5- SLOPE IS NOT GREATER THAN 3% PERCENT.
6- PLUM PROVIDED TO PERMEABLE PAVEMENT SHALL BE CONCENTRATED TO A SMALL AREA OF PAVEMENT.
7- PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURERS SPECIFICATION. IF REQUIRED, SUB-DRAINAGE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.

SITE PLAN
SCALE: 1/8" = 1'-0"

- 1 PROPERTY LINE
- 2 PERMEABLE PAVEMENT
- 3 LANDSCAPE
- 4 DRIVEWAY
- 5 BICYCLE PARKING (SHORT-TERM)
- 6 SIDEWALK
- 7 PATH OF TRAVEL
- 8 TRANSFORMER PAD

1 PERMEABLE PAVEMENT



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OWNER :

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4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

802 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

SHEET TITLE:

PARKING PLAN

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8"=1'-0"

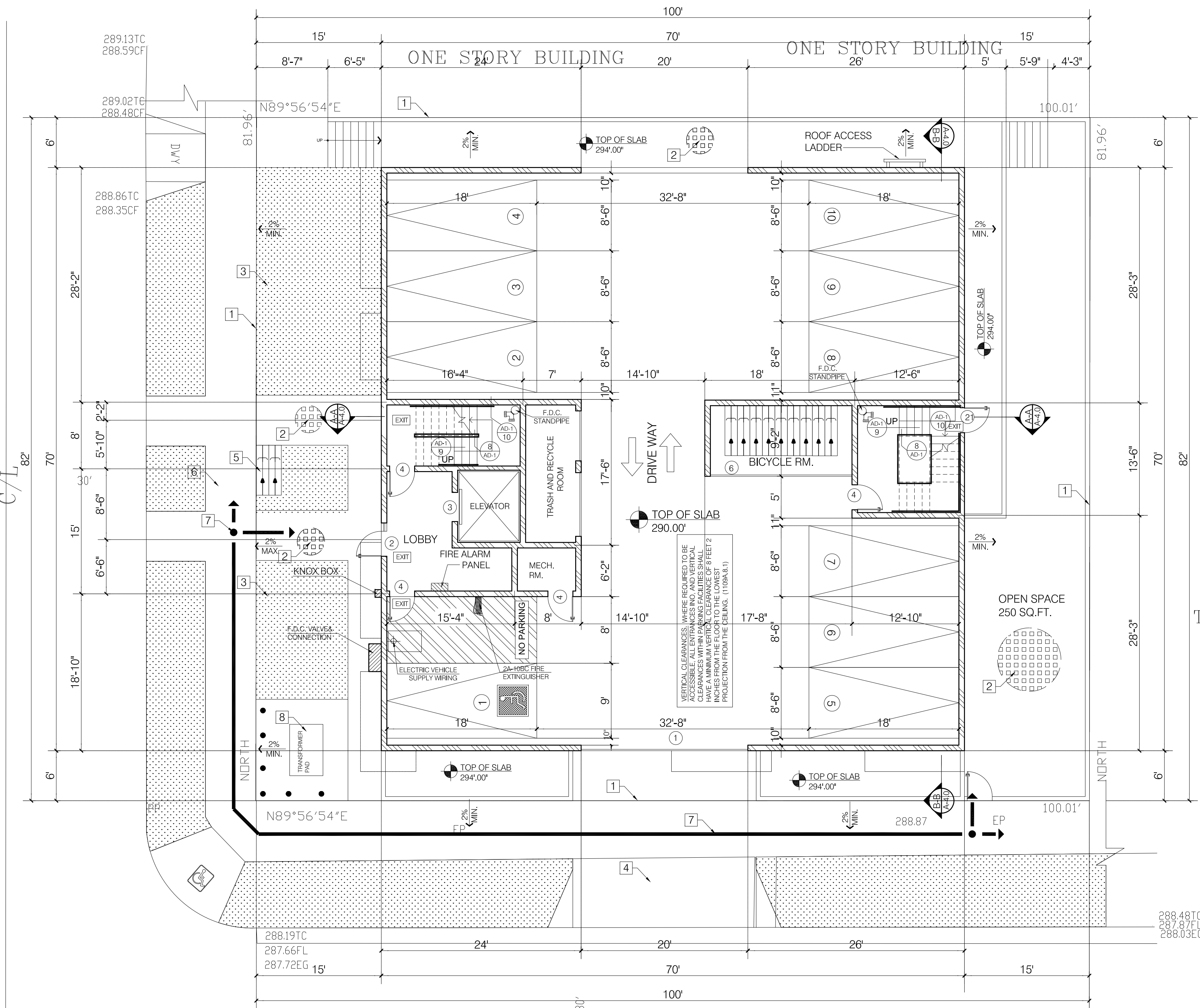
DESIGN & DRAWN: FMI

DATE: 04.01.18

JOB NUMBER:

SHEET

A-2.0



PARKING PLAN

SCALE: 1/8"= 1'-0"

W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANETE STON.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

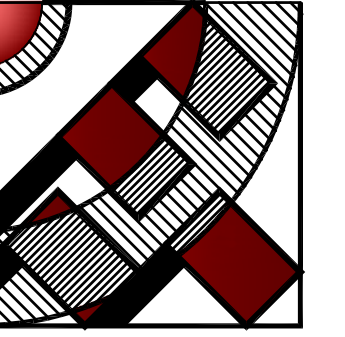
6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" X 30" CLEAR FLOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

ARCHITECT:

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

1ST FLOOR PLAN

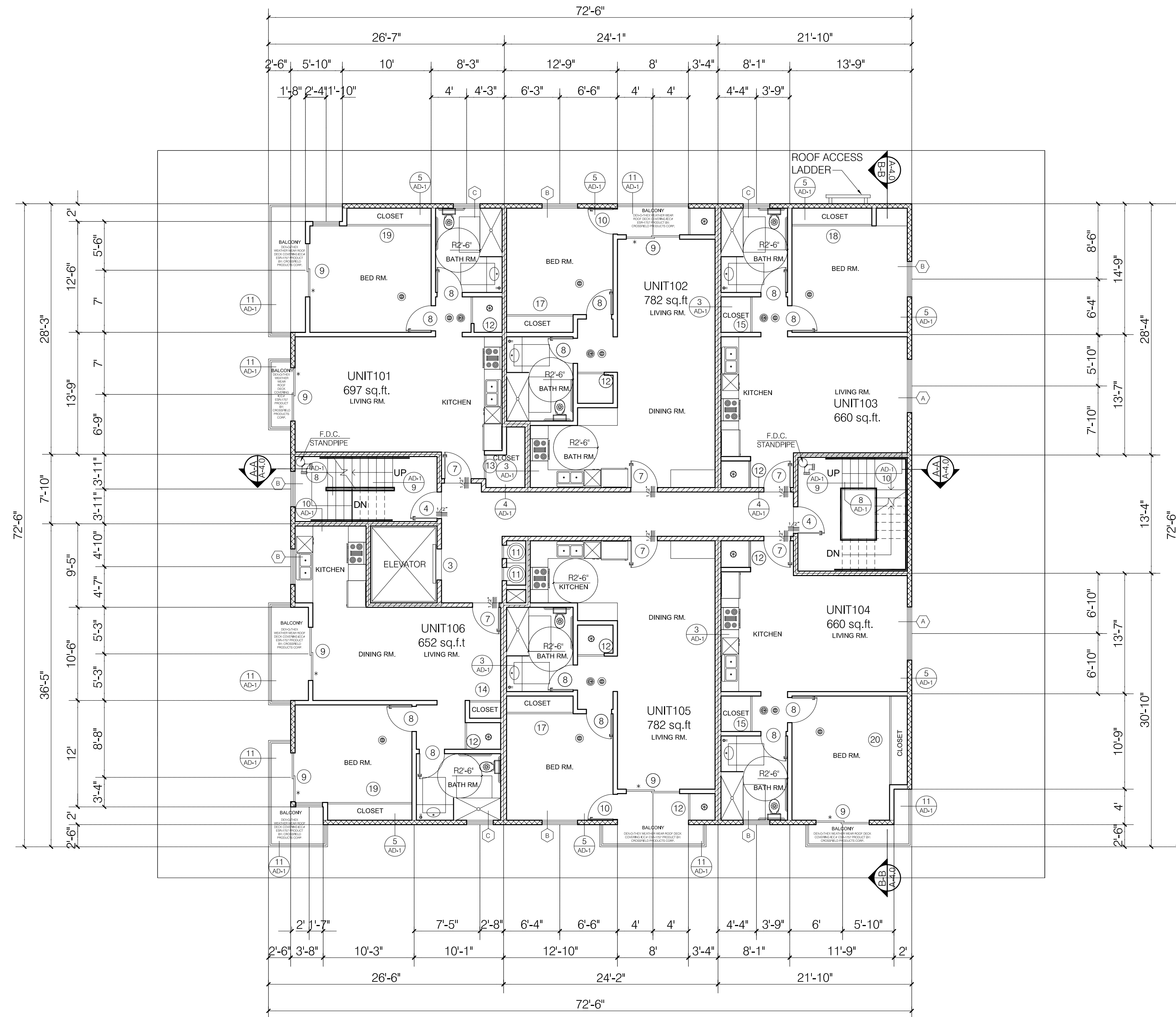
REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8" = 1'-0"
 DESIGN & DRAWN: FMI
 DATE: 04.01.18
 JOB NUMBER:

SHEET

A-2.1



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

W/D:
 - WASHER AND DRYER SHALL BE FRONT LOAD
 (if center is provided, shall be at 34" max. height with
 27" min. knee clear at 19" min. deep, typical)
 COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A.3)
- KITCHEN COUNTER MATERIAL IS GRANITE STON.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

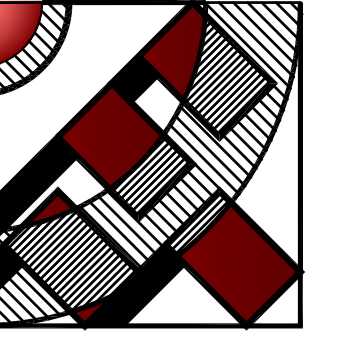
6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" X 30" CLEAR FLOR SPACE



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CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

ARCHITECT:

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

2ND FLOOR PLAN

REVISION:

NO. DATE BY

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SCALE: 1/8"=1'-0"

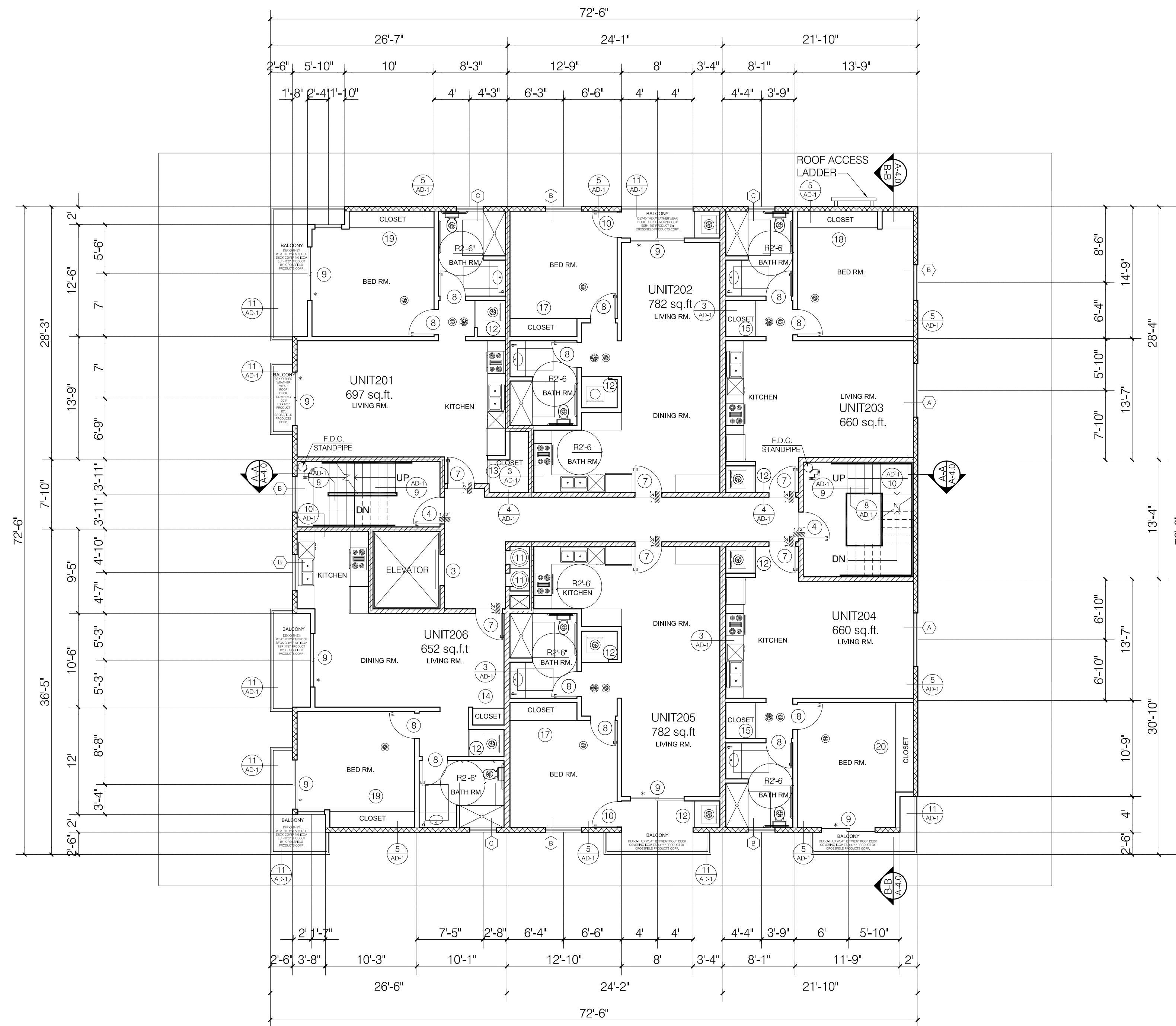
DESIGN & DRAWN: FMI

DATE: 04.01.18

JOB NUMBER:

SHEET

A-2.2



SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*

- USEABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A.3)

- KITCHEN COUNTER MATERIAL IS GRANITE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

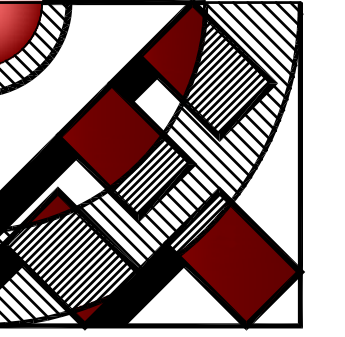
6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
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9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48" CLEAR FLOOR SPACE



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DESIGN & ENG.
CONSTRUCTION

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WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-6419

ARCHITECT:

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OWNER :

RAMI BEMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

802 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

SHEET TITLE:

3RD FLOOR PLAN

REVISION:

NO.	DATE	BY
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SCALE: 1/8"=1'-0"

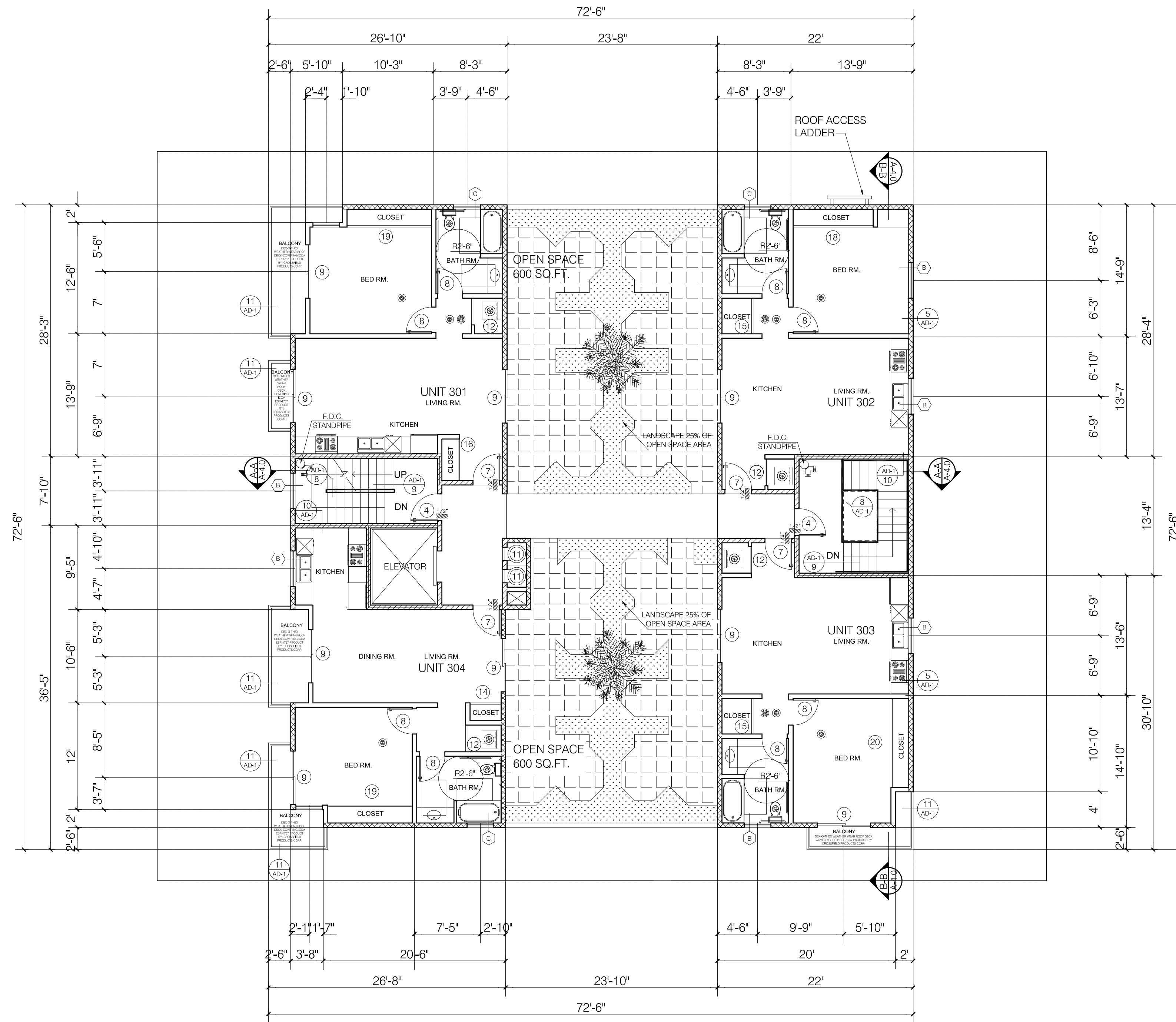
DESIGN & DRAWN: FMI

DATE: 04.01.18

JOB NUMBER:

SHEET

A-2.3



THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"



W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A.3)

- KITCHEN COUNTER MATERIAL IS GRANITE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
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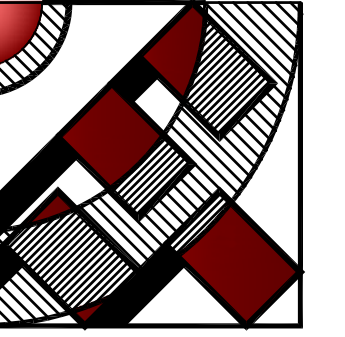
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GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ▨ ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ▨ ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- ▨ TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- ⊙ HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊙ MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- ⊕ GROUND- FAULT CIRCUIT-INTERUPTER
- ✱ TEMPERED GLASS
- ⊙ 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- ⊙ CARBON MONOXIDE DETECTOR
- ⊙ 48" 48"x30" CLEAR FLOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

ARCHITECT:

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

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SCALE: 1/4" = 1'-0"

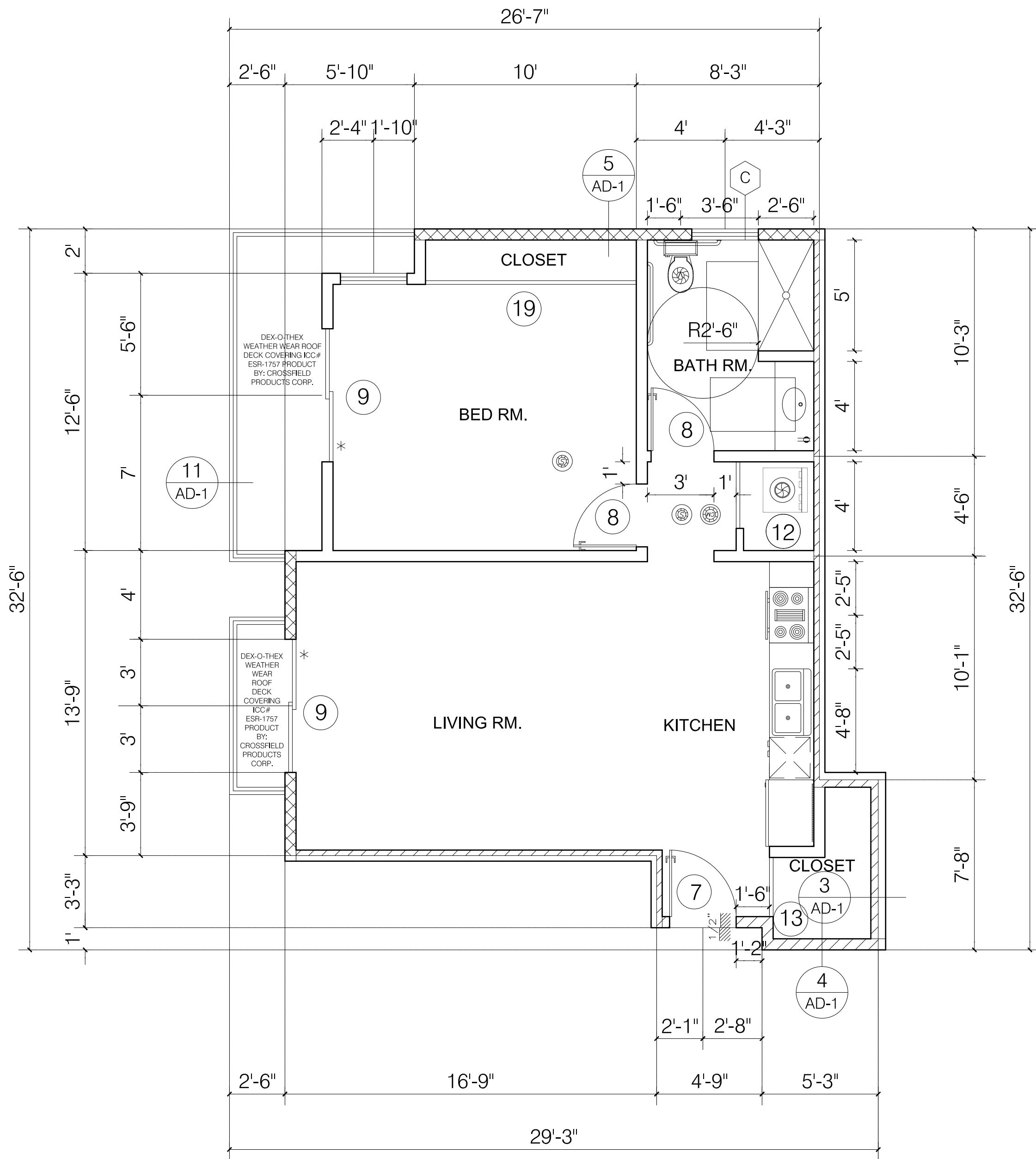
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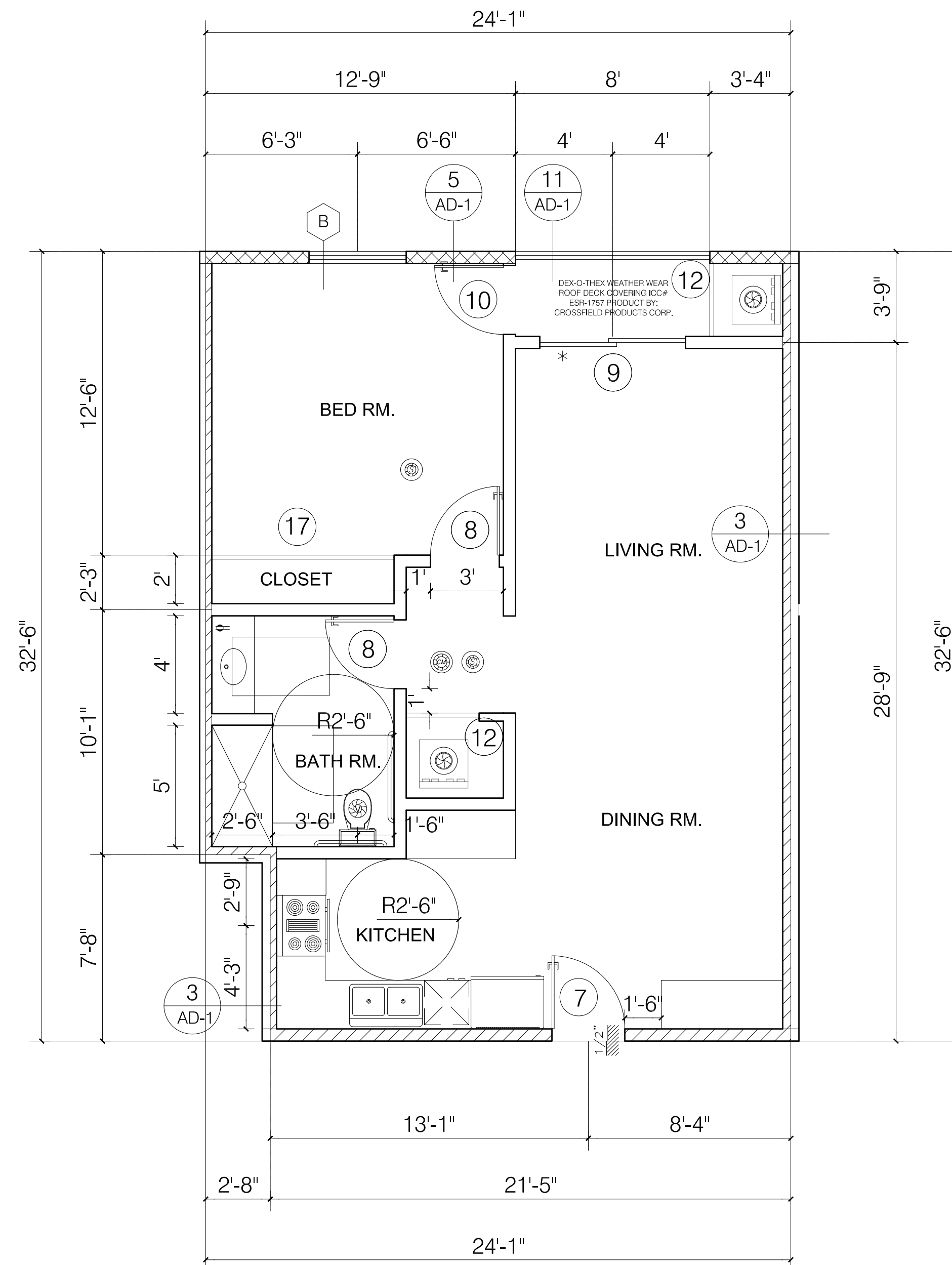
JOB NUMBER:

SHEET

A-2.5



UNIT 101
UNIT 201



UNIT 102
UNIT 202

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
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 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

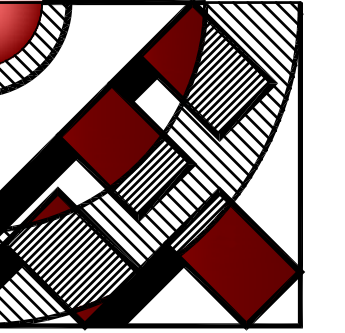
FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 48"X30" CLEAR FLORR SPACE

LAYOUT PLANS

SCALE: 1/4" = 1'-0"





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DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

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SCALE: 1/4" = 1'-0"

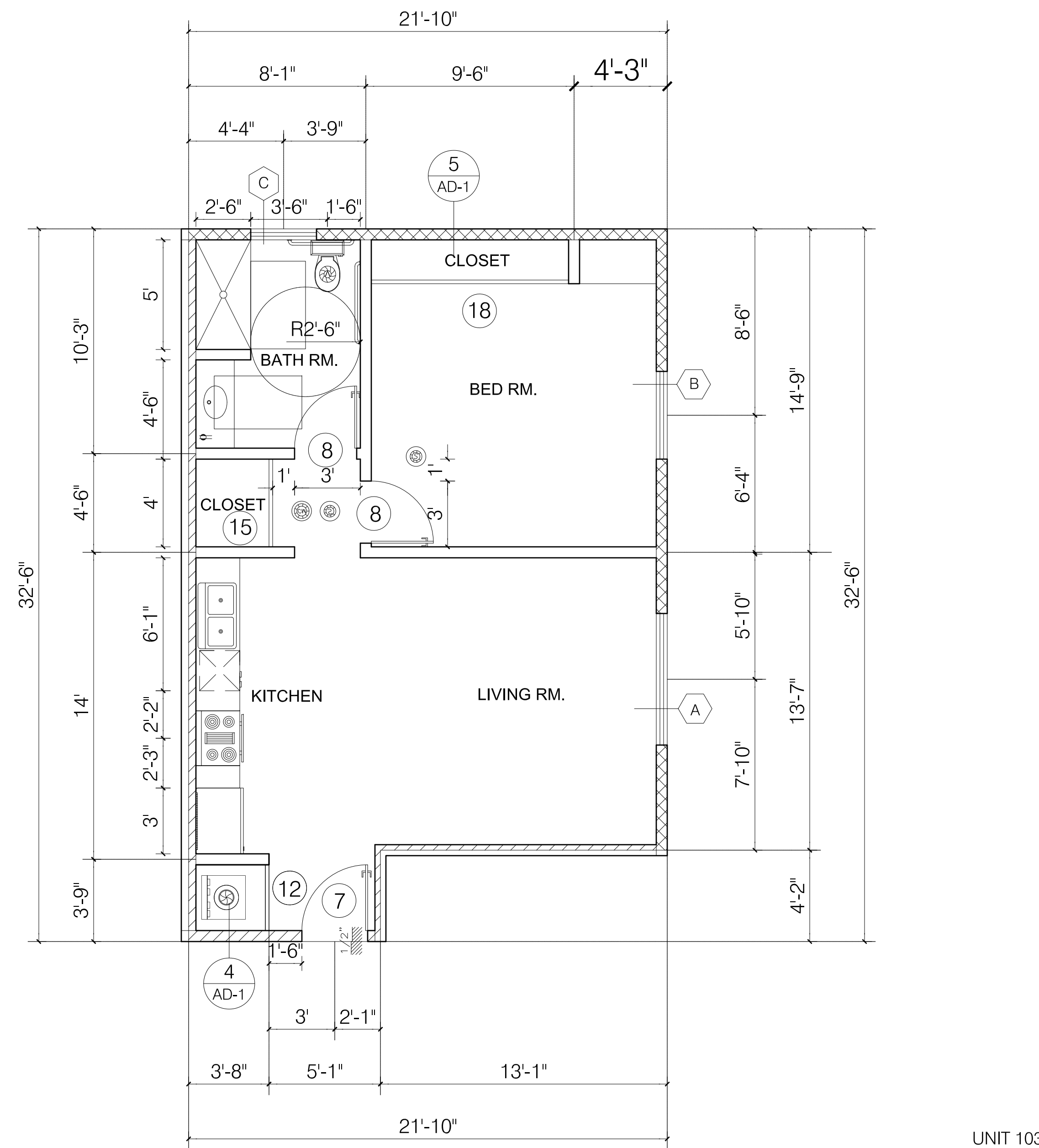
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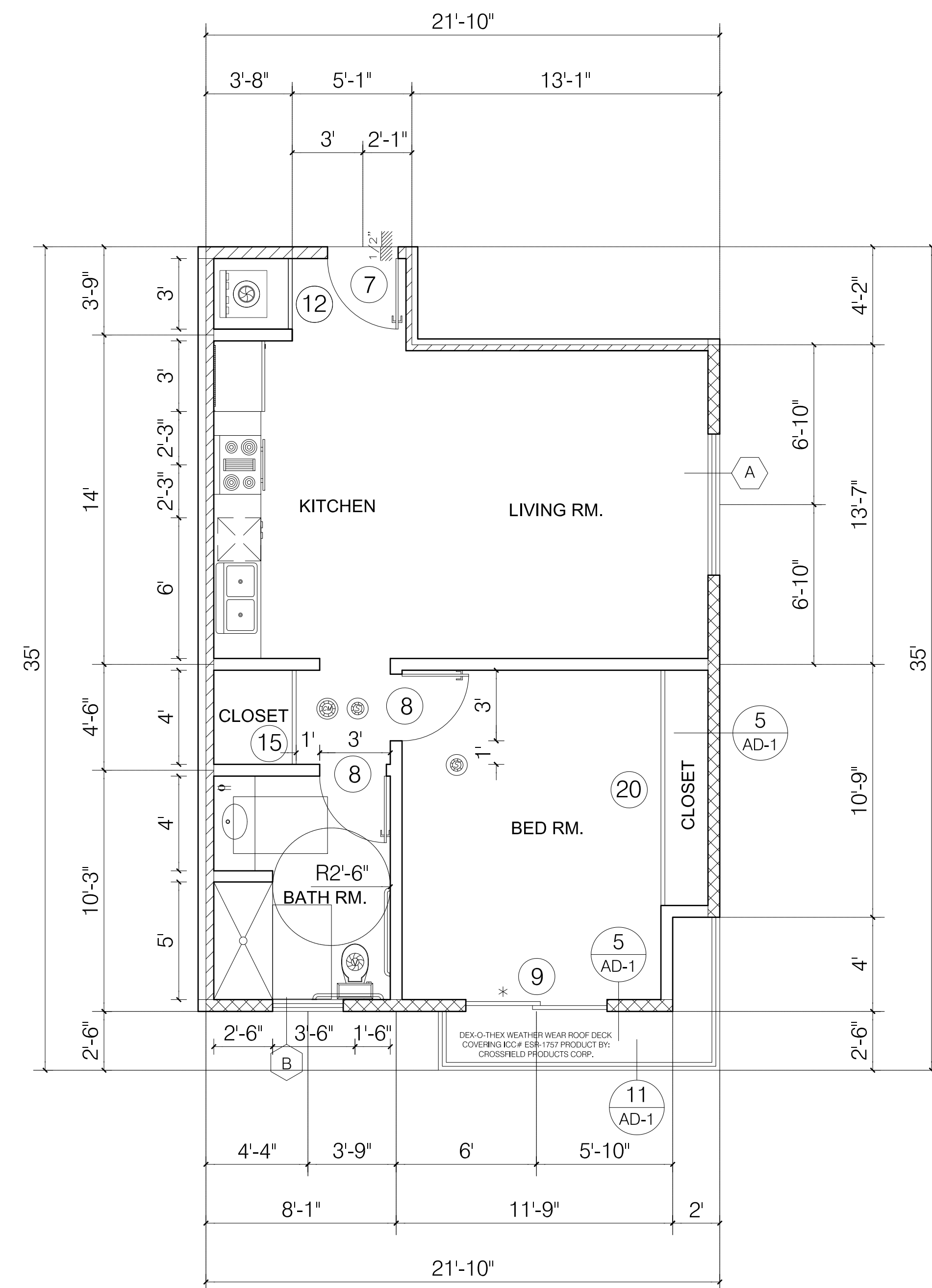
JOB NUMBER:

SHEET

A-2.6



UNIT 103
UNIT 203



UNIT 104
UNIT 204

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING
CODE SECTION 12.21A5, CHART NO. 5.*

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED
STAIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED
CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE
WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA,
INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT
THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE
KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR FLOOR BENEATH
THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL.
TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE
DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH
SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY
WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT
LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE
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SECTION 1132.5.
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11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
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CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.
ITEM 4.

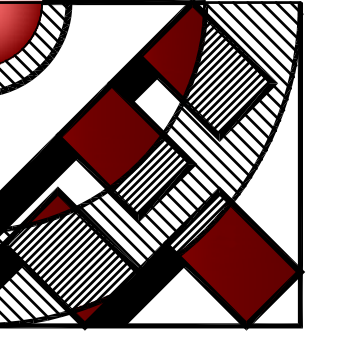
GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR
COMPLIANT AND BE DUCTED TO TERMINATE
TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A
COMPONENT OF A WHOLE HOUSE
VENTILATION SYSTEM, MUST BE
CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER
HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE
DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO
ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 48"X30" CLEAR FLOR SPACE

LAYOUT PLANS
SCALE: 1/4" = 1'-0"



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CONSTRUCTION

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OWNER :

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4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

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SCALE: 1/4" = 1'-0"

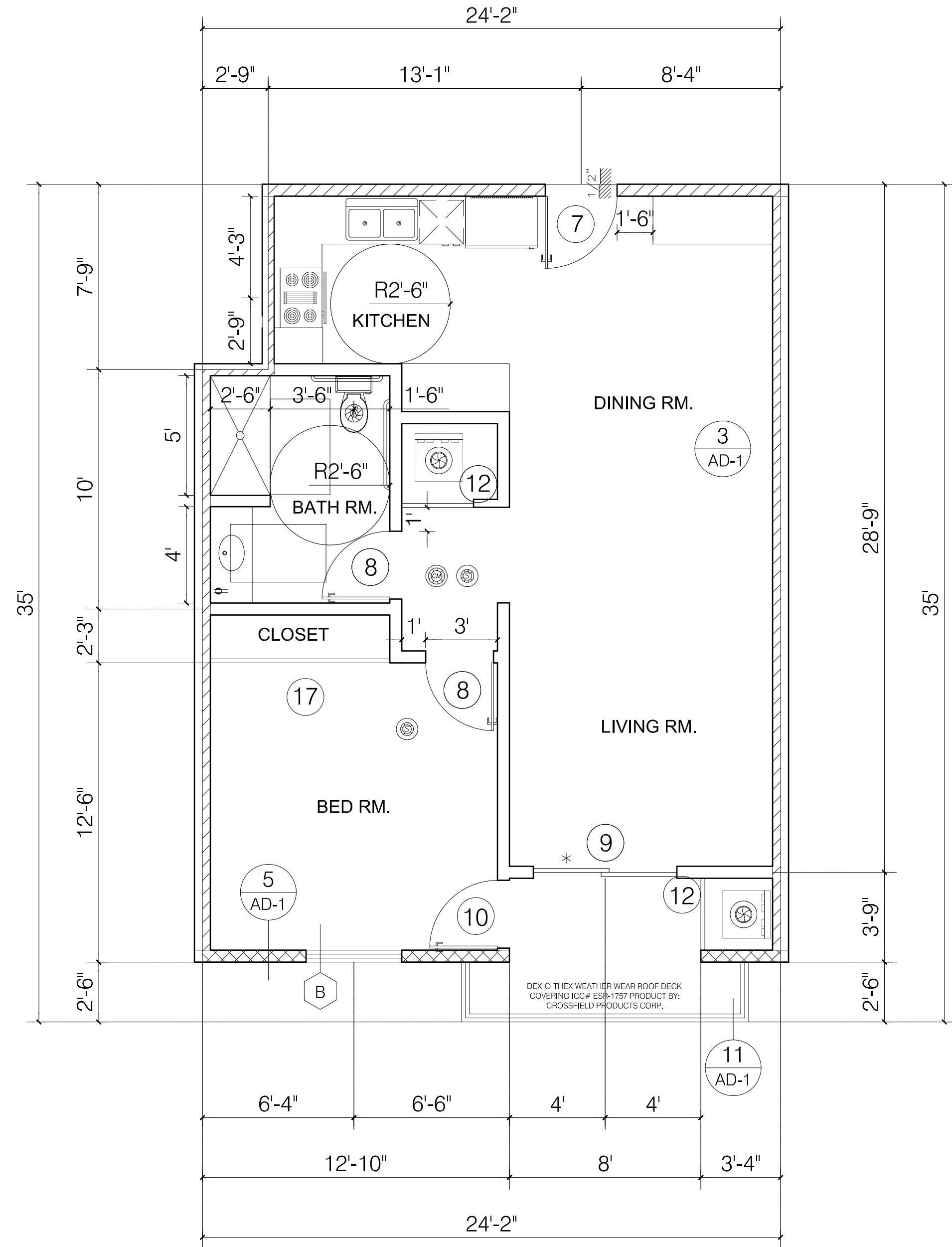
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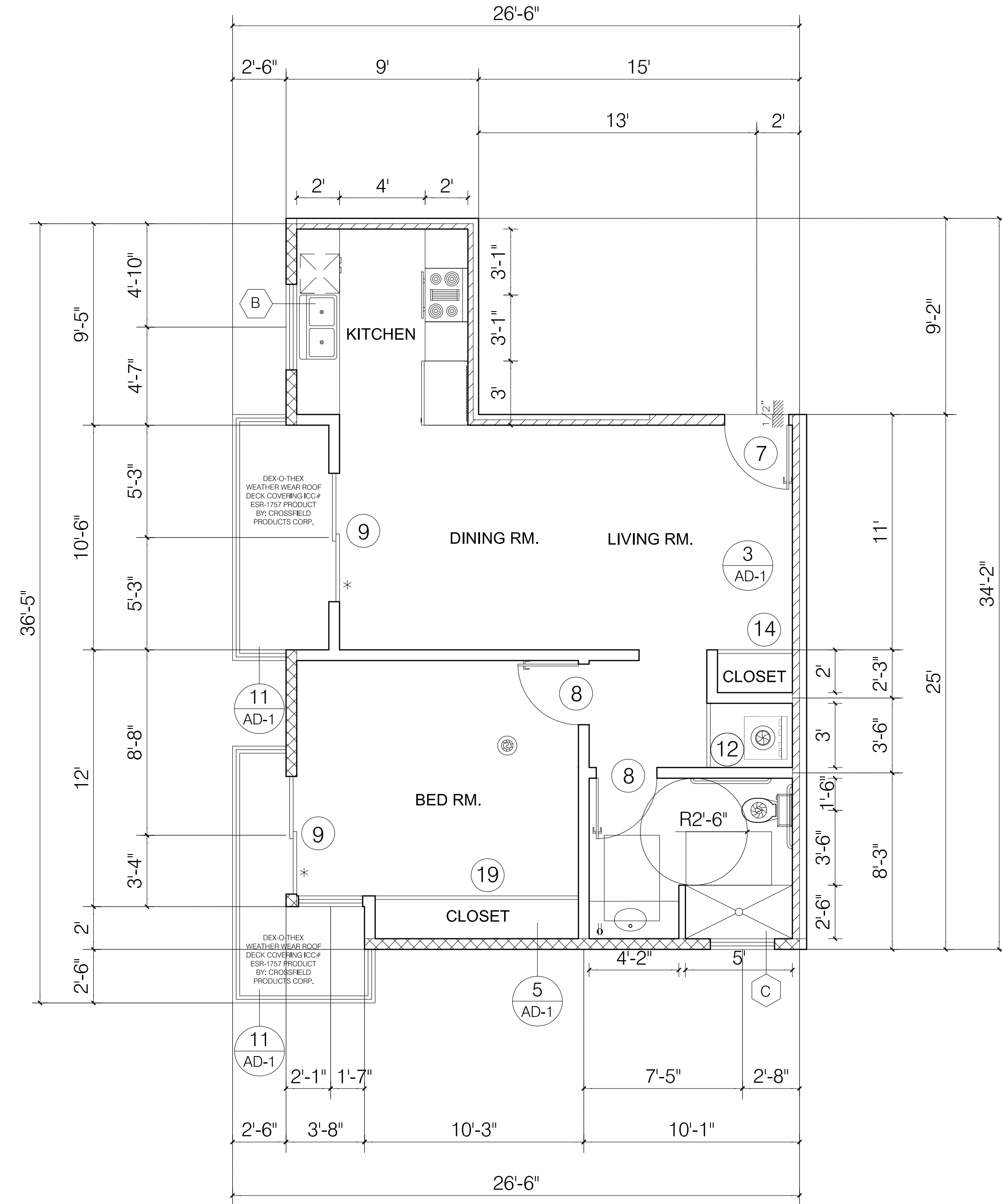
JOB NUMBER:

SHEET

A-2.7



UNIT 105
UNIT 205



UNIT 106
UNIT 206

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVDIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOWIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANETE STON.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

- 6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
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- 11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
- 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

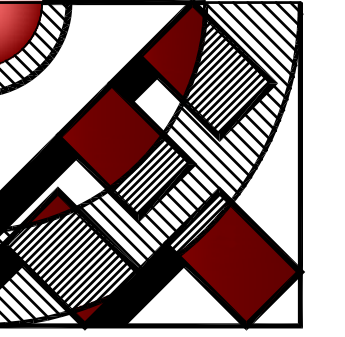
GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
- TWO HOUR RATED (CONCRETE WALLS)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER HOUR. SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT. DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 48"x30" CLEAR FLORR SPACE

LAYOUT PLANS
SCALE: 1/4" = 1'-0"



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RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EI CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

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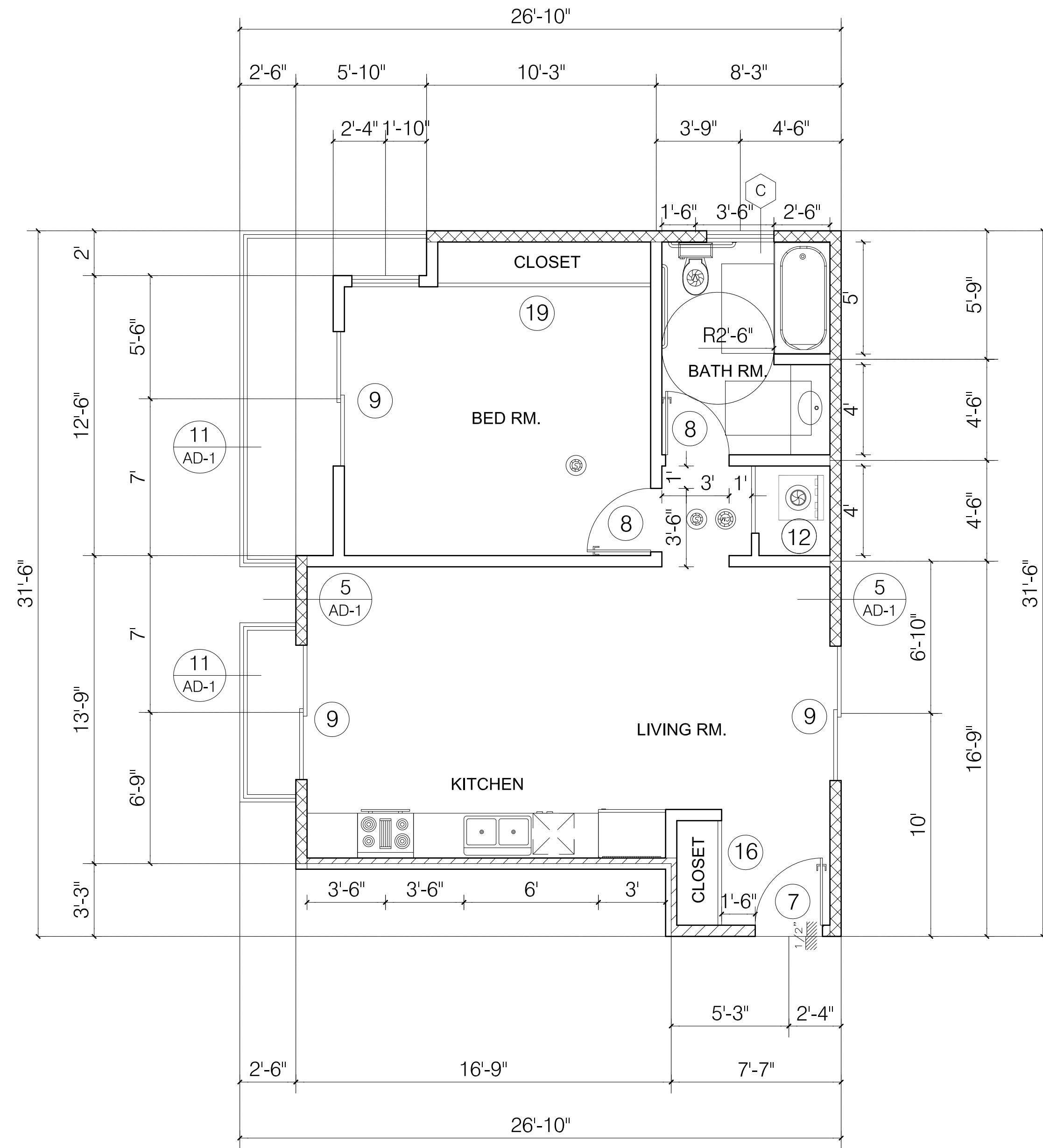
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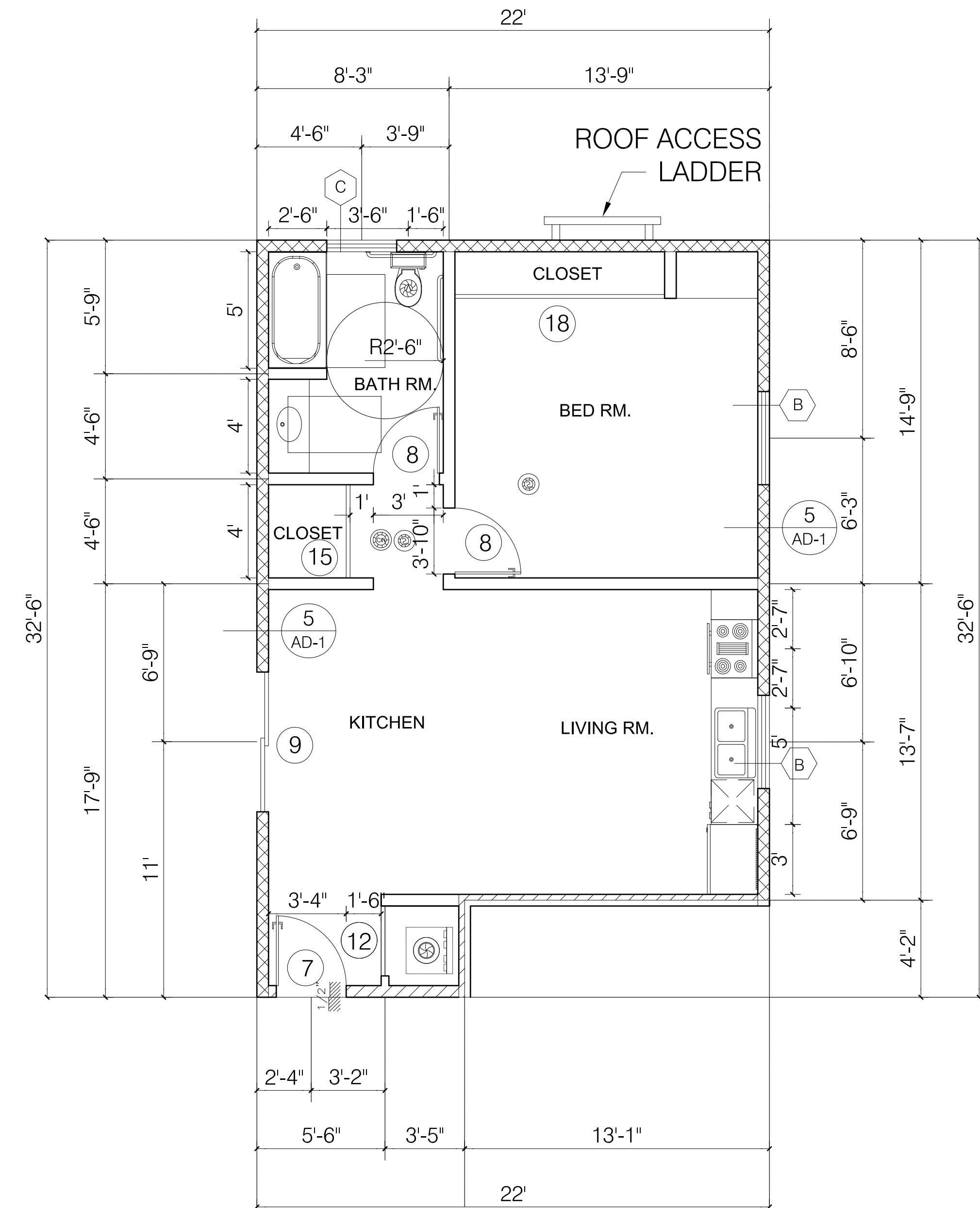
JOB NUMBER:

SHEET

A-2.8



UNIT 301



UNIT 302

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVDIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOWIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANETE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

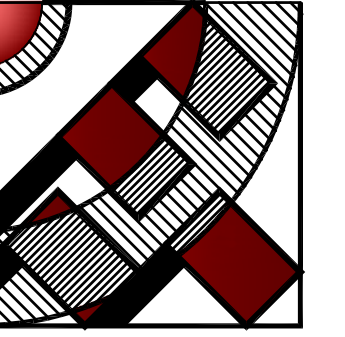
GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
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FLOOR PLAN KEY NOTES

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- CARBON MONOXIDE DETECTOR
- 48"
- 48"x30" CLEAR FLLOOR SPACE

LAYOUT PLANS
SCALE: 1/4" = 1'-0"



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CONSTRUCTION

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PROJECT :

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LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

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NO. DATE BY

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SCALE: 1/4" = 1'-0"

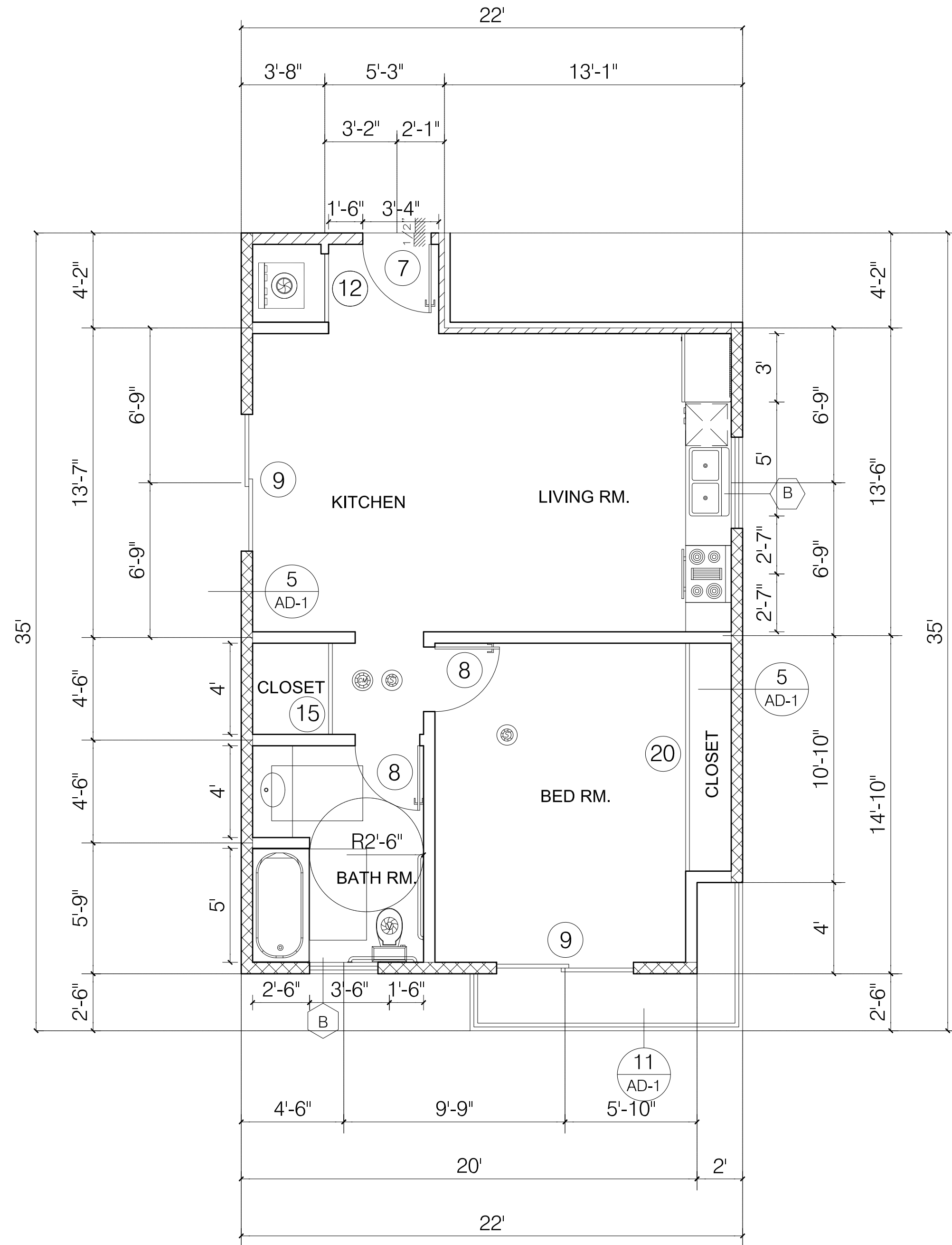
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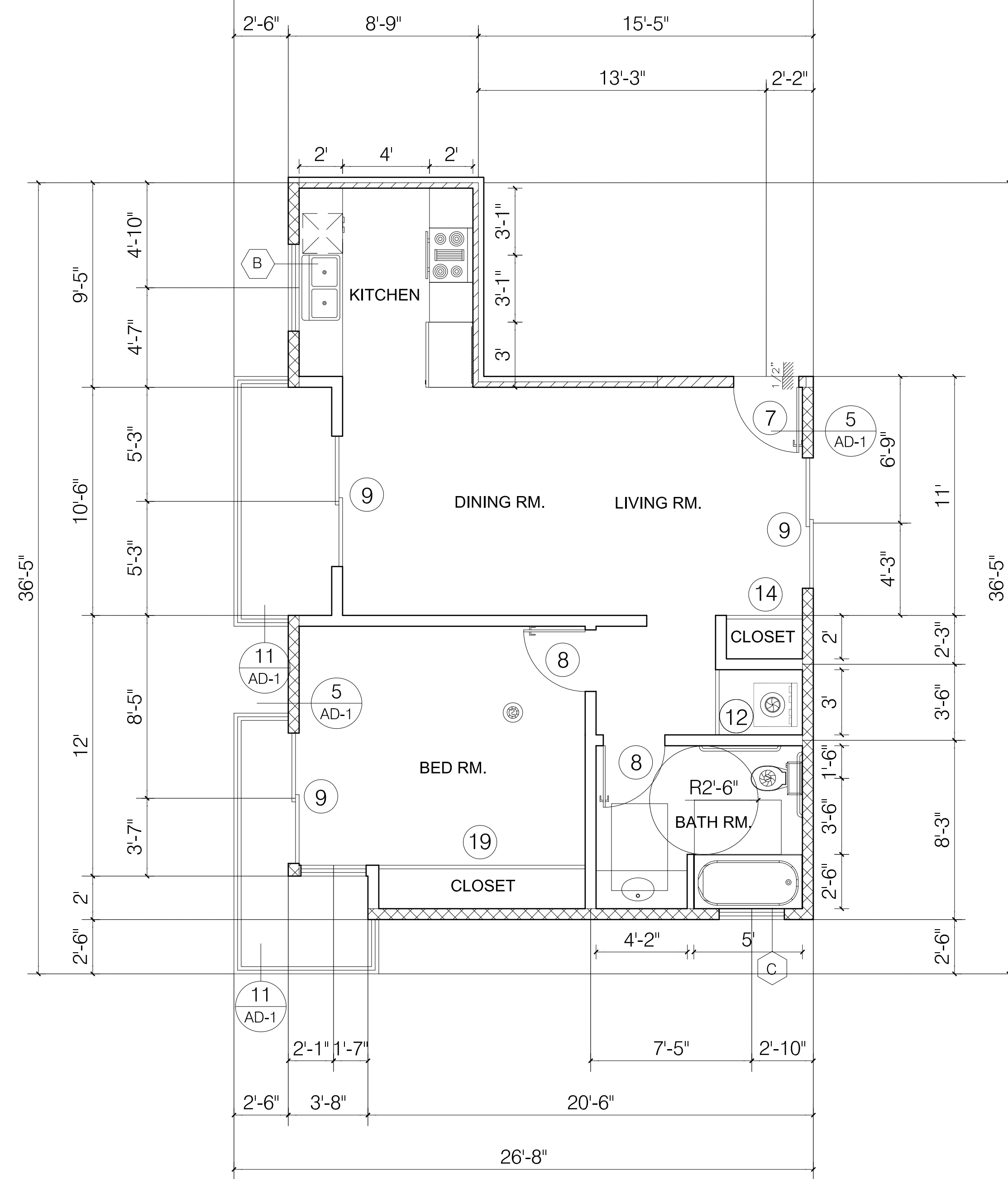
JOB NUMBER:

SHEET

A-2.9



UNIT 303



UNIT 304

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING
CODE SECTION 12.21A5, CHART NO. 5.*

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED
STAIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED
CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE
WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA,
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KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH
THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL.
TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANETE STON.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE
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- 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER
CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.
ITEM 4.

GRN NOTES:

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- EXHAUST FAN NOT FUNCTIONING AS A
COMPONENT OF A WHOLE HOUSE
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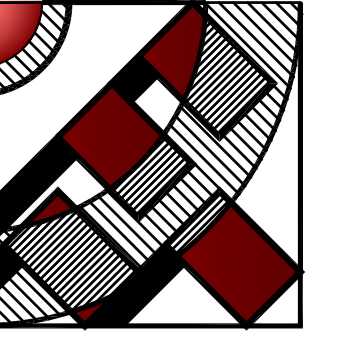
FLOOR PLAN KEY NOTES

- WALL
- ONE HOUR RATED STC 50 (EXTRIOR WALLS)
- ONE HOUR RATED STC 50 (HALLWAYS, ELEVATOR AND STAIRS TO THIRD FLOOR)
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- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT. 7 1/2 AIR CHANGE PER
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO
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- CARBON MONOXIDE DETECTOR
- 48"
- 48"x30" CLEAR FLORR SPACE

LAYOUT PLANS

SCALE: 1/4" = 1'-0"





FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

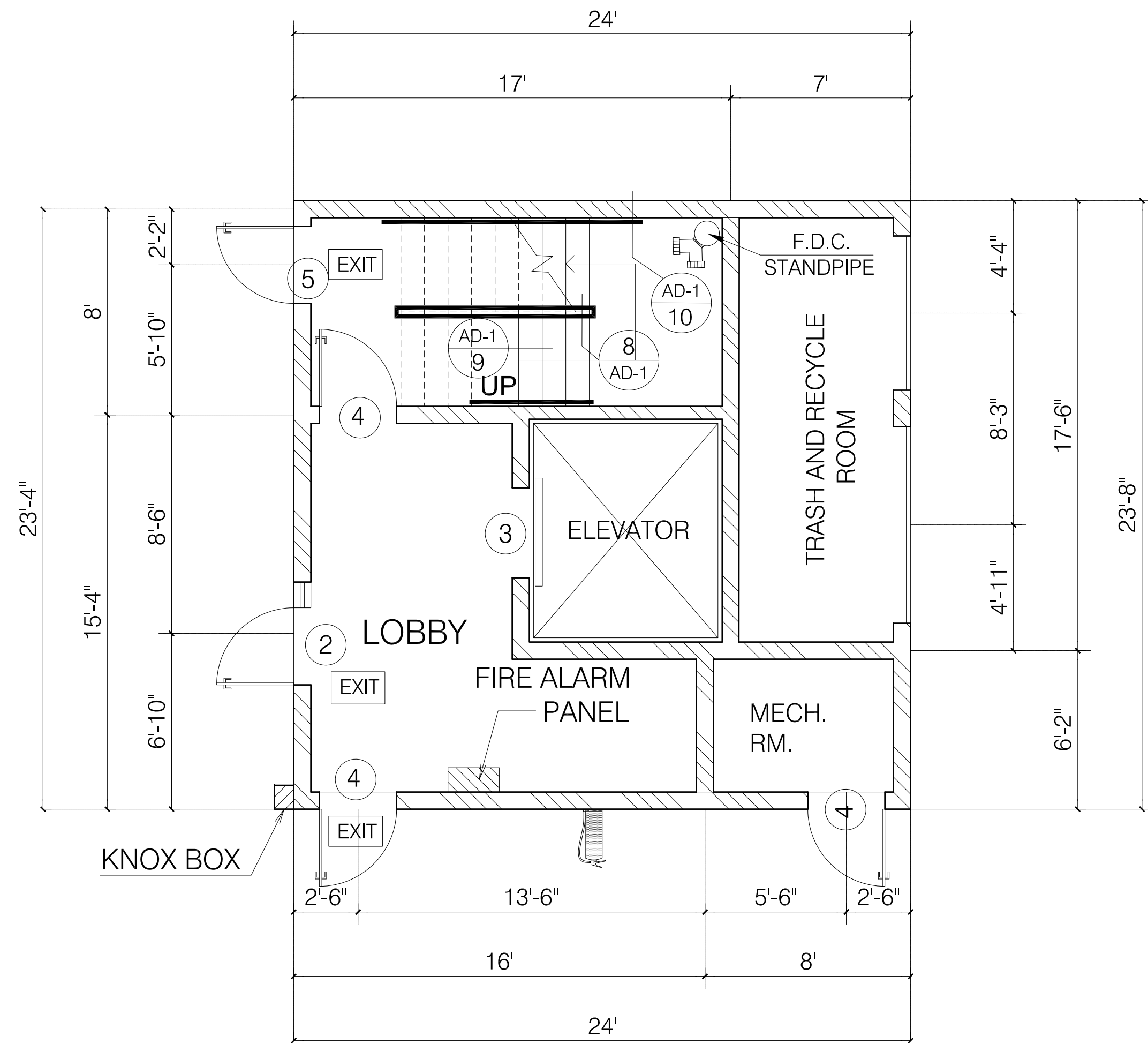
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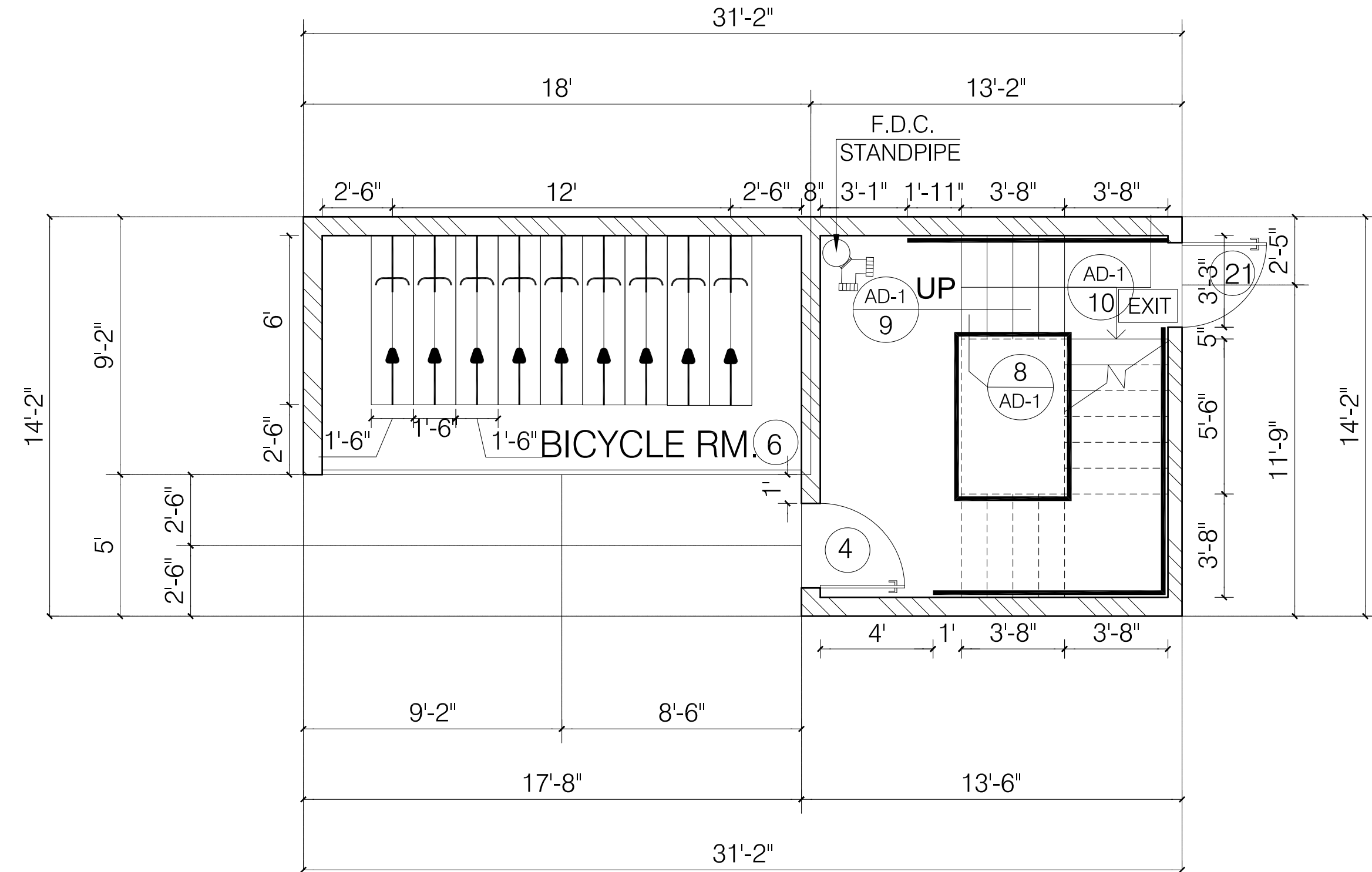
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 DESIGN & DRAWN: FMI
 DATE: 04.01.18
 JOB NUMBER:

SHEET

A-2.10



PARKING LOBBY, ELEVATOR, STAIR A, MEC. RM., TRASH RM.
 SCALE: 1/4" = 1'-0"



PARKING BICYCLE RM., STAIR B
 SCALE: 1/4" = 1'-0"

1123A.5 Striping for the Visually Impaired. The upper approach and the lower tread of each stair along routes required to be accessible, shall be marked by a strip of clearly contrasting color at least a minimum of 2 inches (50.8 mm) wide to a maximum of 4 inches (101.6 mm) wide placed parallel to, and not more than 1 inch (25.4mm) from, the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable.

NOTES:

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- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
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- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
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 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

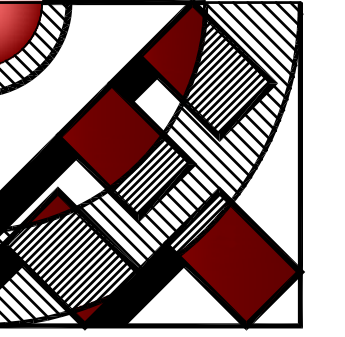
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7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
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PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO. DATE BY

- - -

SCALE: 1/4" = 1'-0"

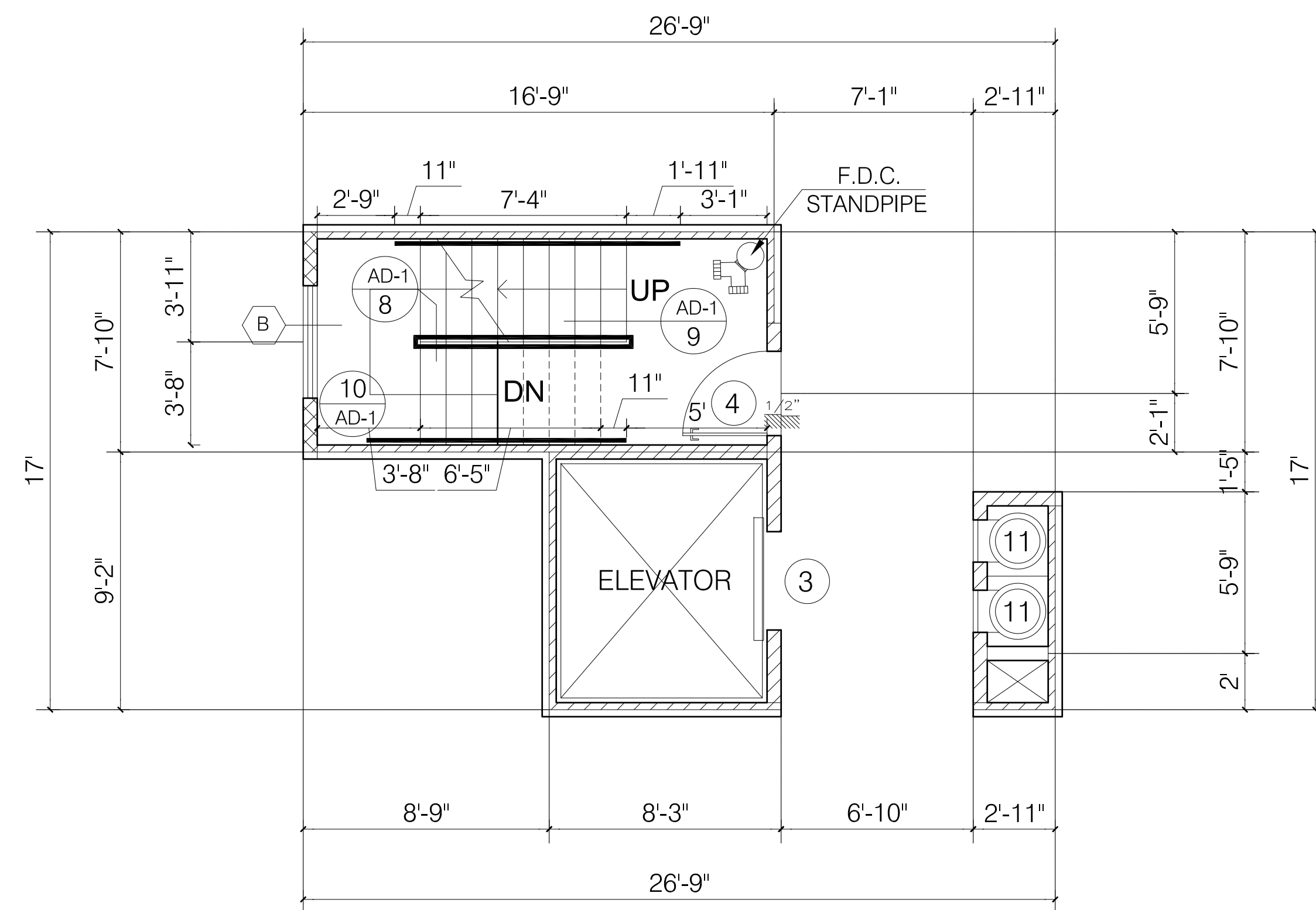
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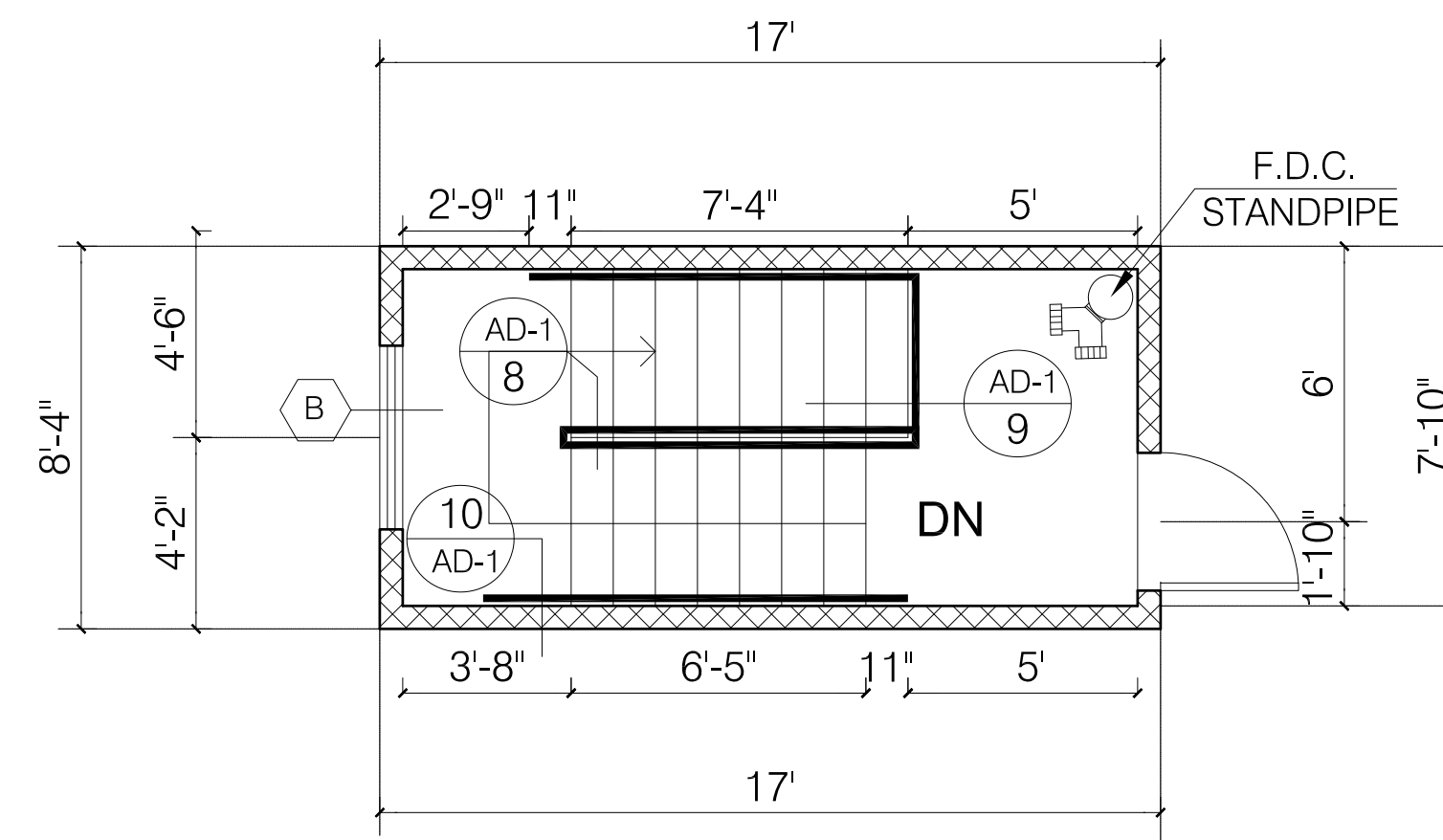
SHEET

A-2.11



FIRST, SECOND & THIRD FLOOR STAIR A

SCALE: 1/4" = 1'-0"



FIRST & SECOND FLOOR STAIR B

SCALE: 1/4" = 1'-0"

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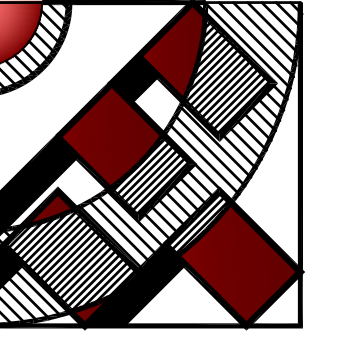
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CONSTRUCTION

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CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

LAYOUTS

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4" = 1'-0"

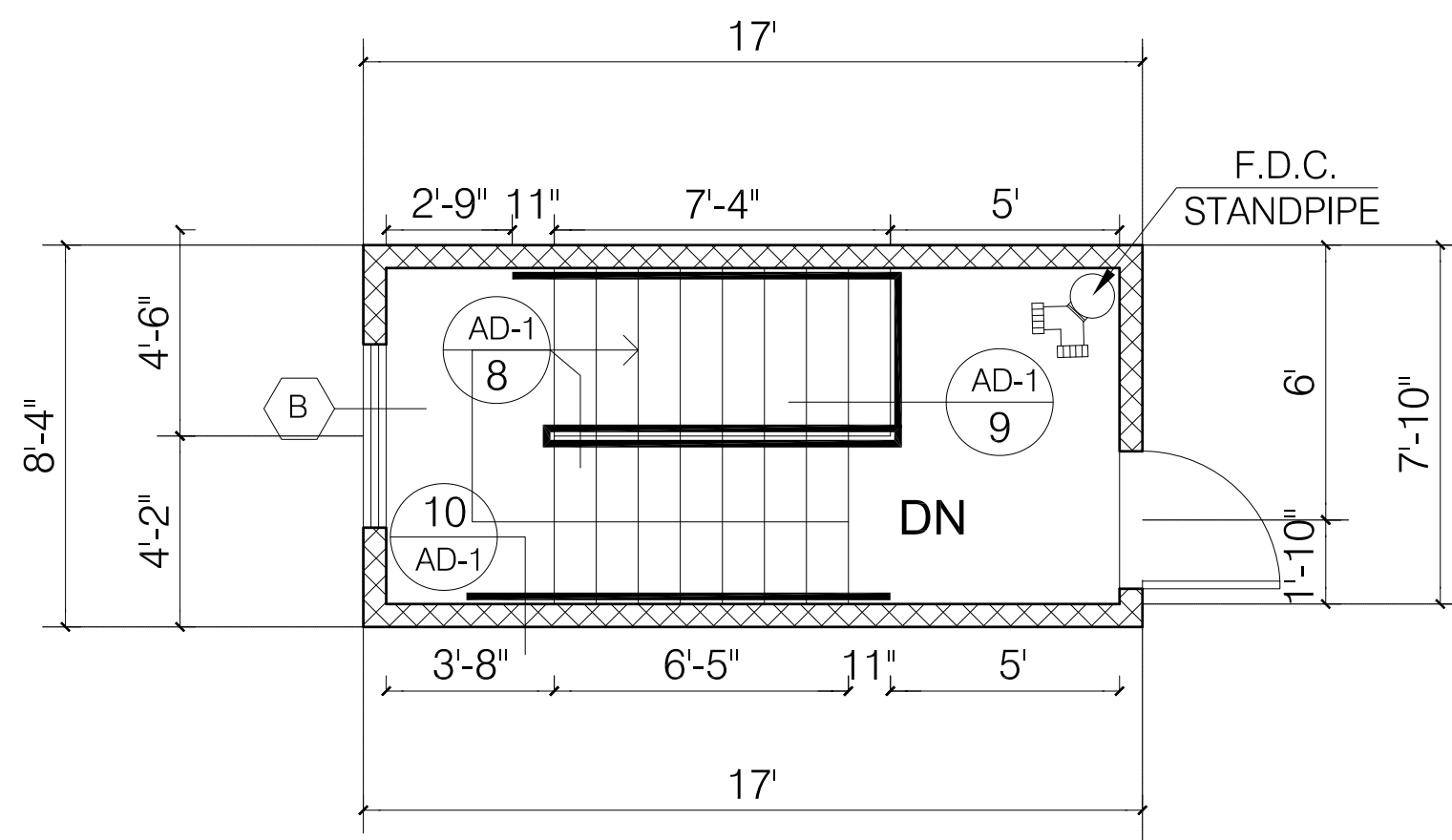
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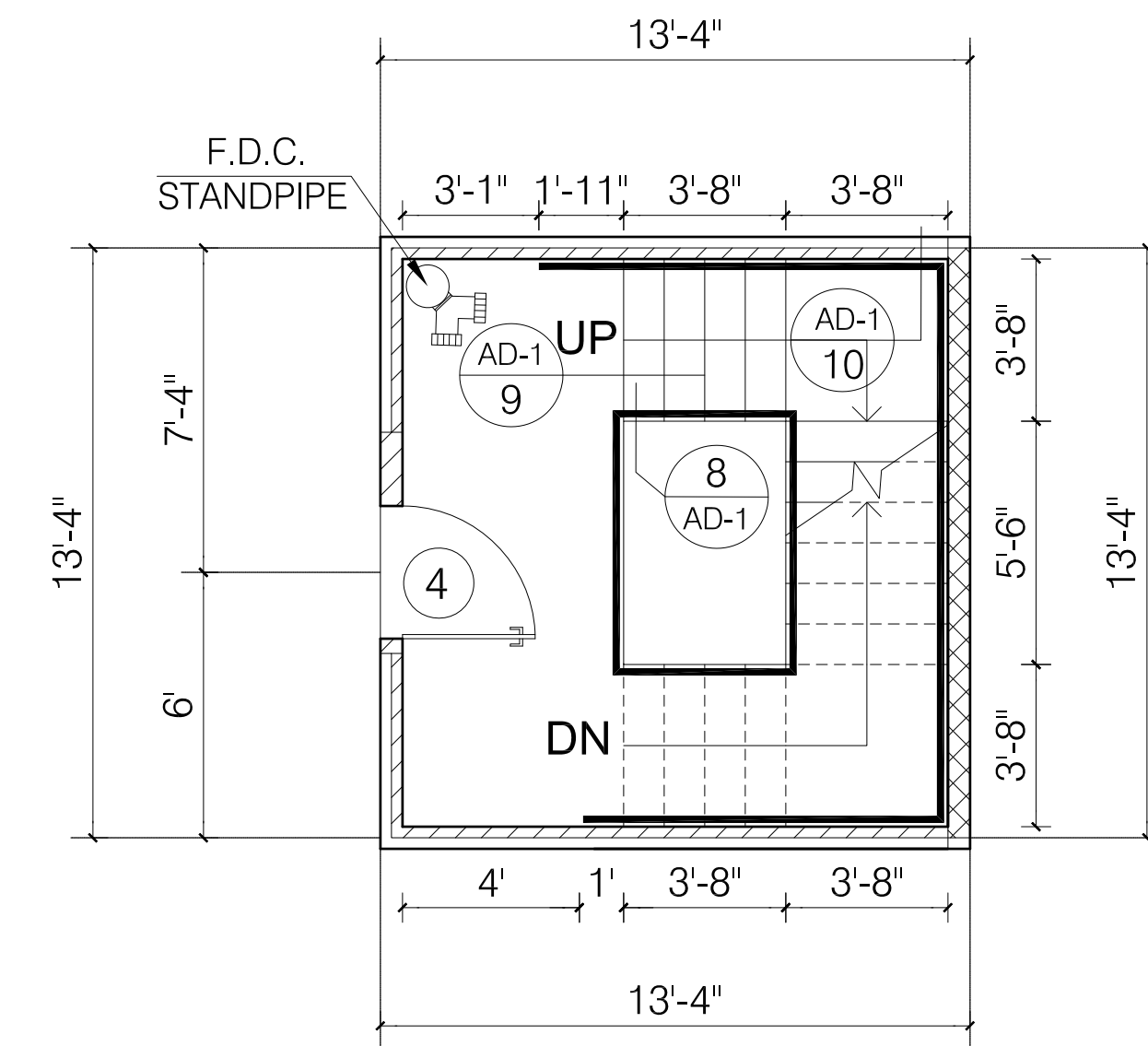
JOB NUMBER:

SHEET

A-2.12



ROOF FLOOR STAIR A
SCALE: 1/4" = 1'-0"



THIRD FLOOR STAIR B
SCALE: 1/4" = 1'-0"

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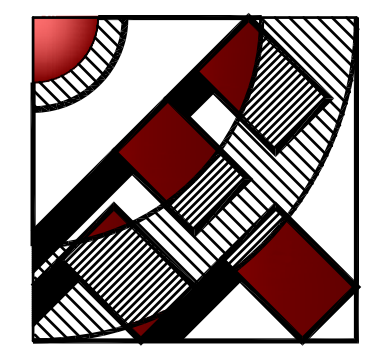
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ELEVATION KEY NOTES

- 1 CLASS "A" ROOF
- 2 STUCCO
- 3 DOWNSPOUT
- 4 GUARDRAIL



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CONSTRUCTION

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WOODLAND HILLS, CA 91364
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SHEET TITLE:

ELEVATIONS

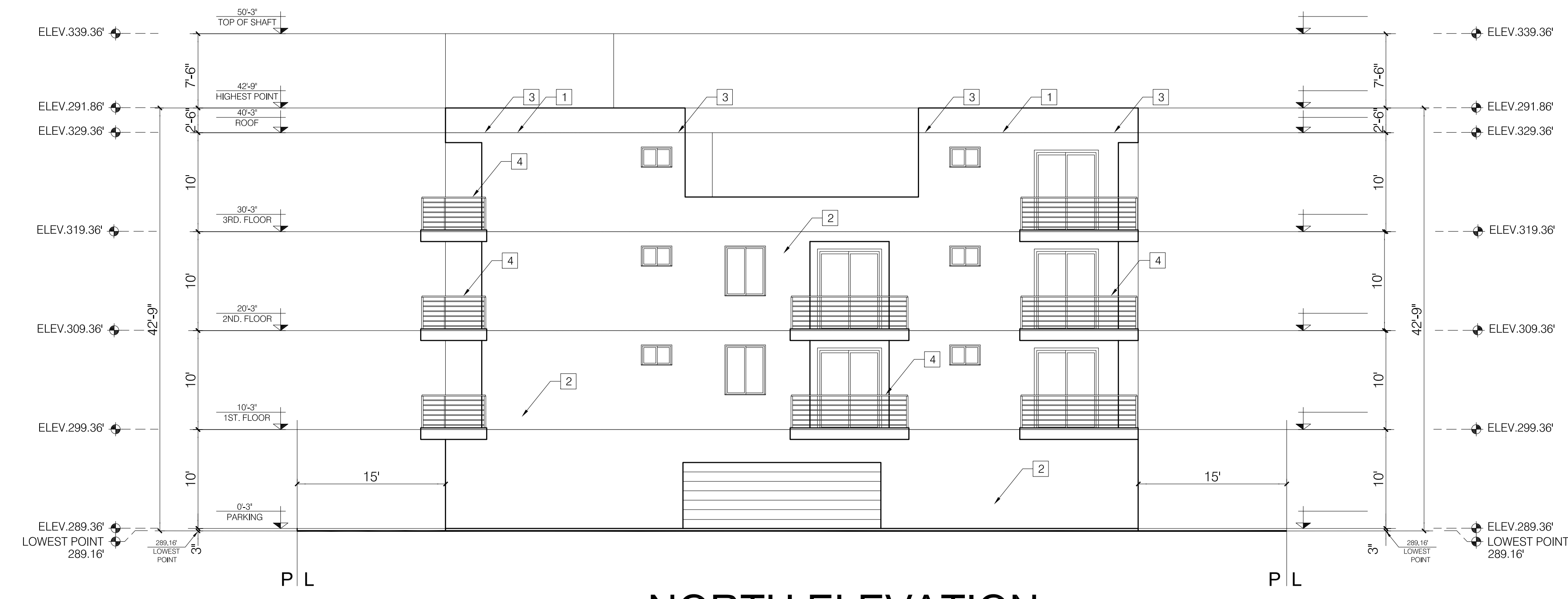
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NO.	DATE	BY
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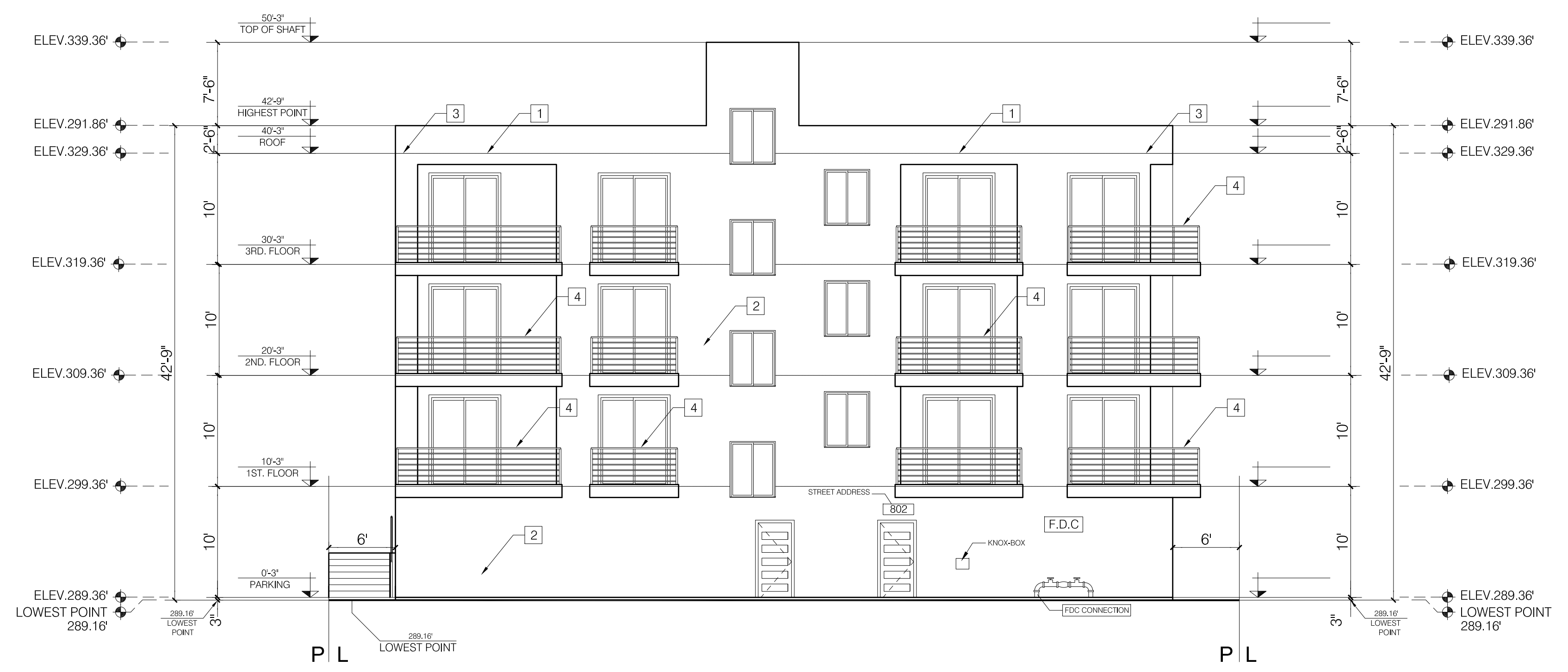
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DESIGN & DRAWN: FMI
DATE: 04.01.18
JOB NUMBER:

SHEET

A-3.0



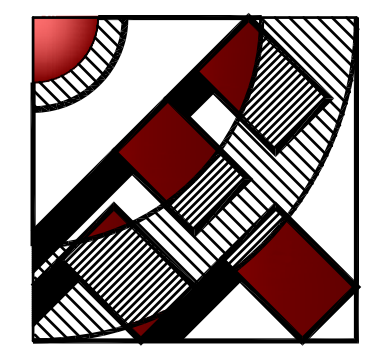
NORTH ELEVATION
SCALE: 1/8"= 1'-0"



WEST ELEVATION
SCALE: 1/8"= 1'-0"

ELEVATION KEY NOTES

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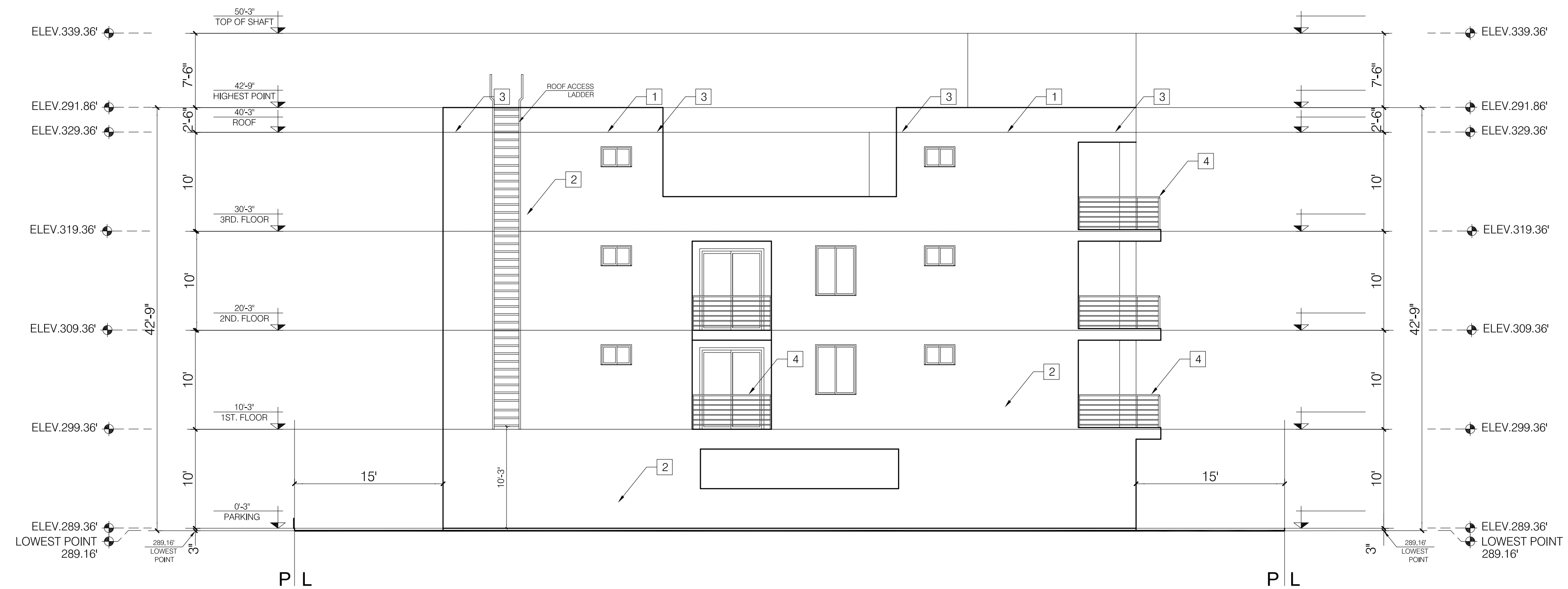
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NO.	DATE	BY
-	-	-
-	-	-
-	-	-

SCALE: 1/8"= 1'-0"
DESIGN & DRAWN: FMI
DATE: 04.01.18
JOB NUMBER:

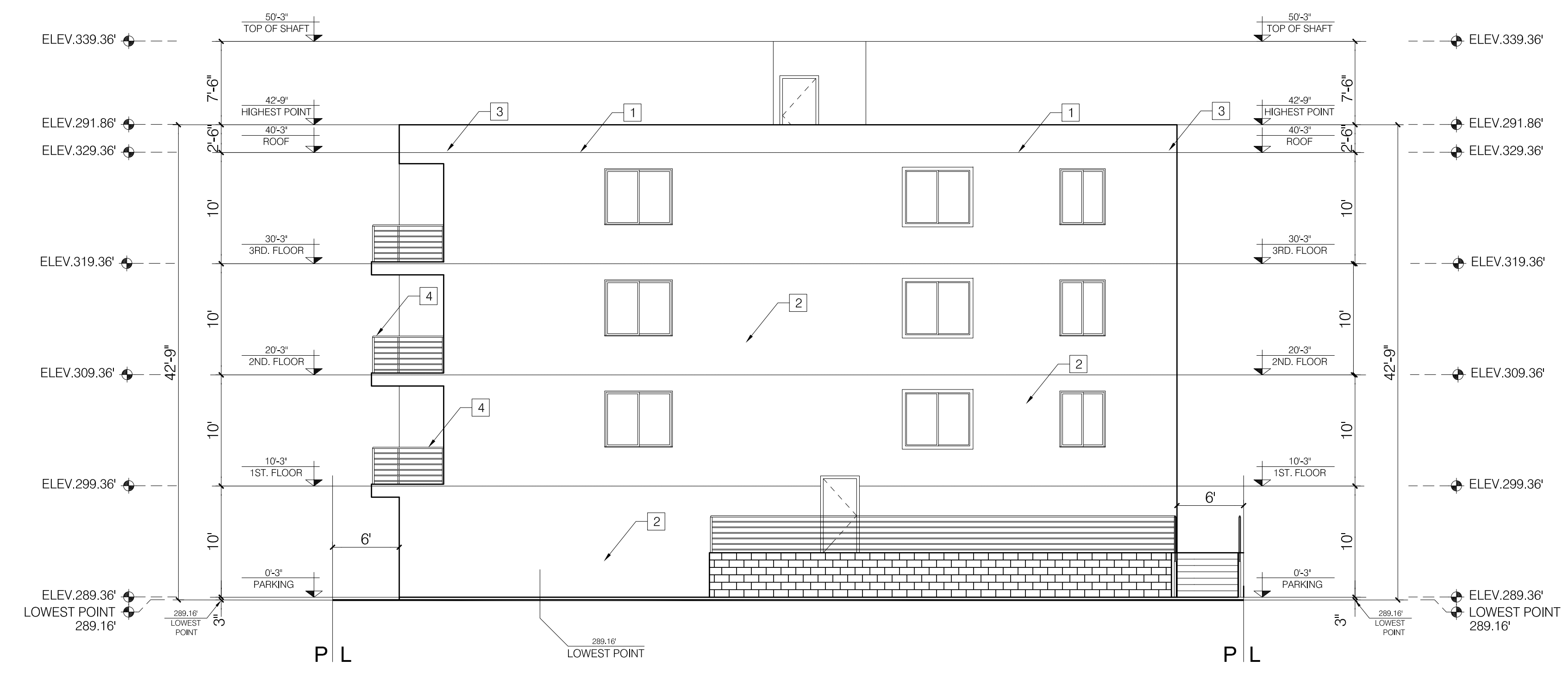
SHEET

A-3.1



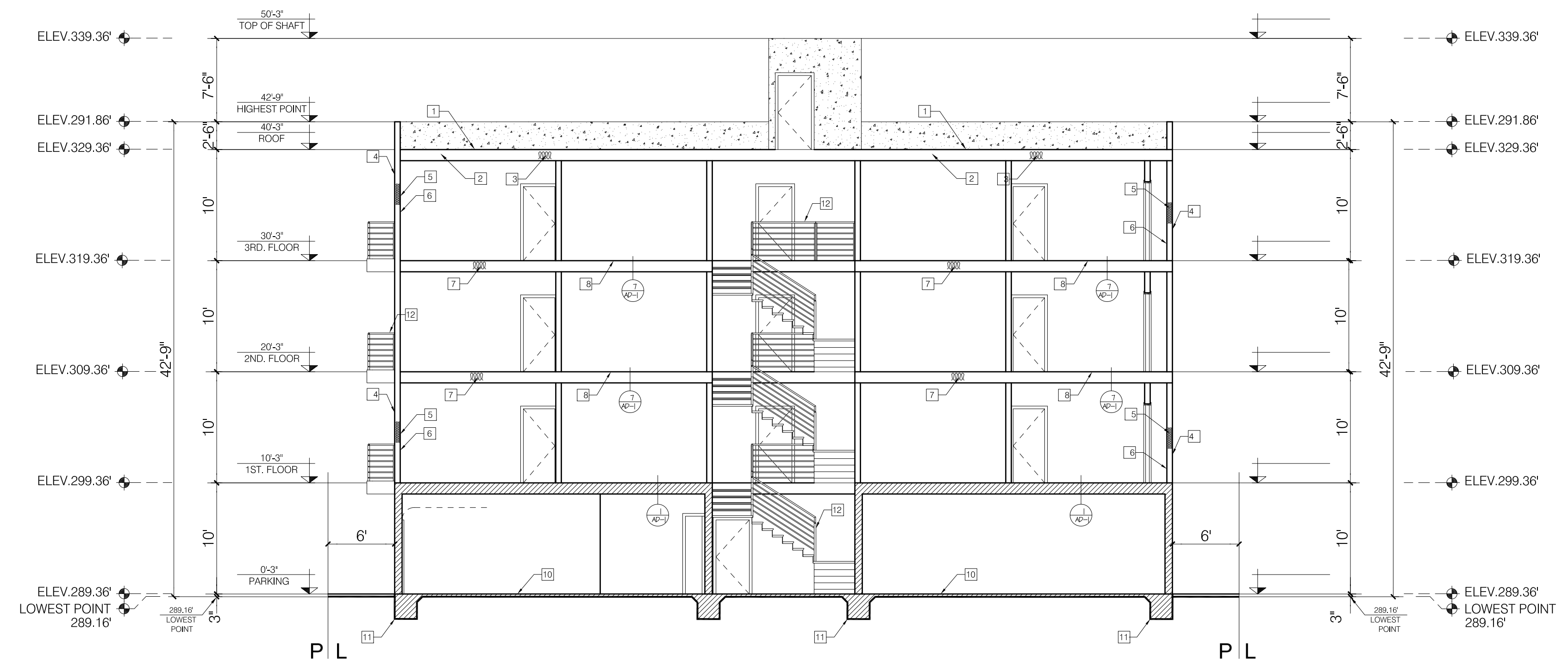
SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



EAST ELEVATION

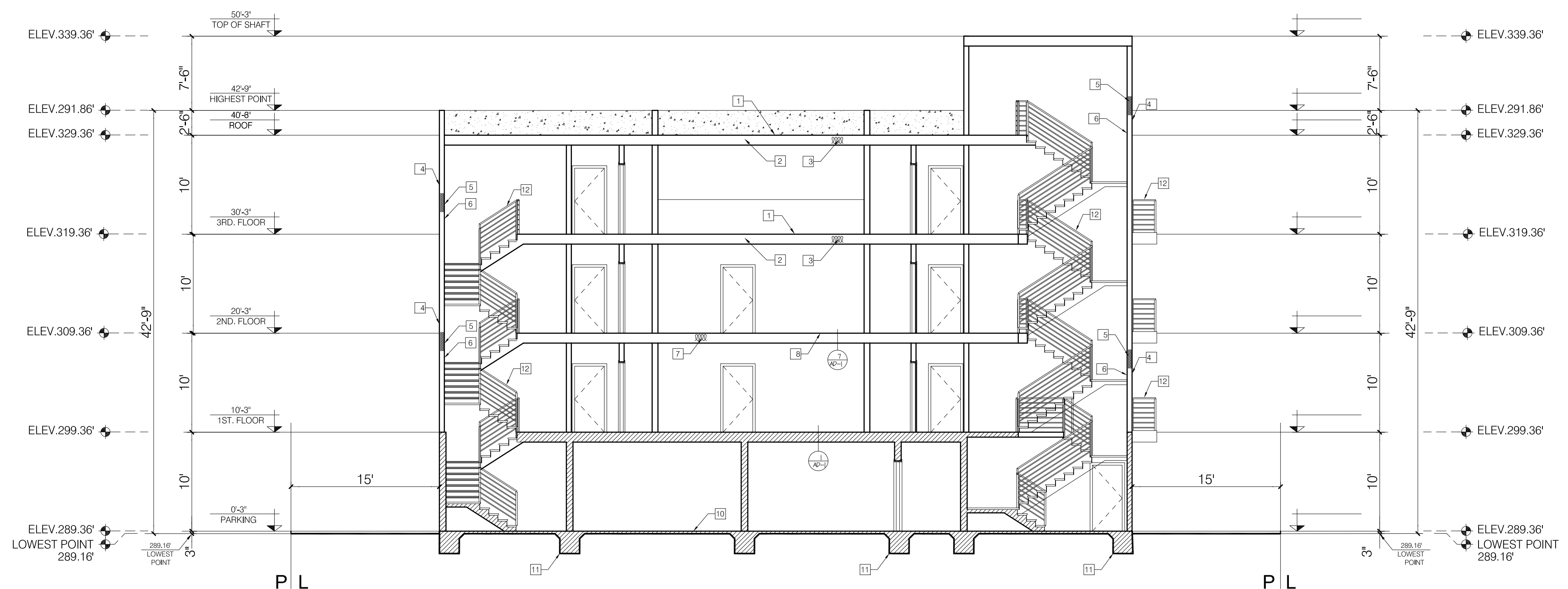
SCALE: 1/8"= 1'-0"



SECTION B-B

SECTION B-B

SCALE: 1/8" = 1'-0"

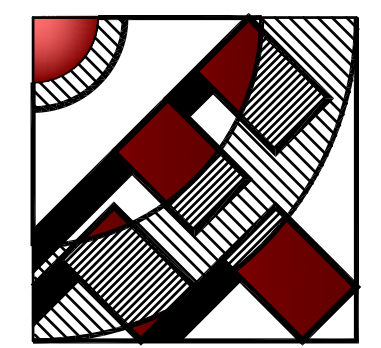


SECTION A-A

SCALE: 1/8" = 1'-0"

SECTIONS NOTES

- 1 CLASS "A" ROOFING
- 2 ROOF RAFTER
- 3 R-30 INSULATION
- 4 7/8" STUCCO OVER PAPER BACK WIRE MESH PROVIDE 2-LAYER OF PAPER OVER PLYWOOD
- 5 R-13 INSULATION
- 6 5/8" GYPSUM BOARD
- 7 R-19 INSULATION
- 8 2X FLOOR JOIST
- 9 HANDRAIL
- 10 4" CONCRETE SLAB ON GRADE
- 11 CONCRETE FTG SEE STRUCTURAL PLANS
- 12 GUARDRAIL



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DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

DESIGN BY:

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OWNER :

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

802 NORTH EL CENTRO AVE,
LOS ANGELES, CA 90038

SHEET TITLE:

SECTIONS

REVISION:

NO.	DATE	BY
-	-	-
-	-	-
-	-	-

SCALE: 1/8" = 1'-0"
DESIGN & DRAWN: FMI
DATE: 04.01.18
JOB NUMBER:

SHEET

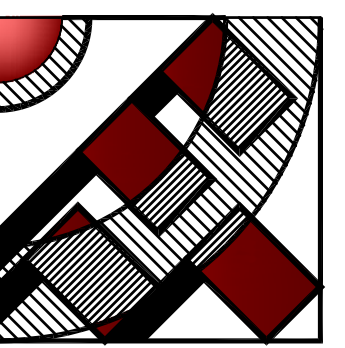
A-4.0

DOOR SCHEDULE

No.	ROOM	DOOR TYPE	FIRE	DIMENSIONS			MATERIALS			FINISHES		REMARKS
				WIDTH	HEIGHT	THICK	DOOR	FRAME	CORE	PAINT	GLASS	
1	GARAGE	SLIDING	-	20'-0"	8'-2"	2"	METAL	METAL	-	PAINT	-	-
2	LOBBY	SWING	-	4'-0"	8'-0"	1-3/4"	WOOD	WOOD	SOLID CORE	PAINT	1/4"	TEMP. GLASS
3	ELEVATOR	SWING	90 MIN.	3'-6"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSING
4	STAIR / EGRESS / MEC. RM	SWING	90 MIN.	3'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSING PANIC/FIRE EXIT H/W
5	TRASH / RECYCLE	SWING	60 MIN.	6'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSING PANIC/FIRE EXIT H/W
6	BICYCLE RM.	SWING	45 MIN.	17'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSING
7	ENTRY	SWING	20 MIN.	3'-0"	6'-8"	1-3/4"	WOOD	WOOD	SOLID CORE	PAINT	-	SELF CLOSING
8	BED, BATH ROOM	SWING	-	2'-10"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
9	BALCONY	SLIDING	-	6'-0"	6'-8"	1-1/2"	GLASS	VINYL	-	PAINT	-	-
10	BALCONY	SWING	-	3'-0"	6'-8"	1-1/2"	GLASS	VINYL	-	PAINT	-	-
11	TRASH SHOOT	SLIDING	60 MIN.	5'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSING
12	LAUNDRY	SLIDING	-	3'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
13	CLOSET	SWING	-	2'-8"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
14	CLOSET	SLIDING	-	3'-6"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
15	CLOSET	SLIDING	-	4'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
16	CLOSET	SLIDING	-	4'-6"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
17	CLOSET	SLIDING	-	7'-6"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
18	CLOSET	SWING	-	9'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
19	CLOSET	SLIDING	-	9'-6"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
20	CLOSET	SLIDING	-	10'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
21	STAIR / EGRESS	SWING	90 MIN.	3'-0"	6'-8"	1-3/4"	METAL	METAL	CORE	PAINT	-	SELF CLOSING PANIC/FIRE EXIT H/W

WINDOW SCHEDULE

No.	ROOM	WINDOW TYPE	FIRE	DIMENSIONS			MATERIALS			FINISHES		REMARKS
				WIDTH	HEIGHT	THICK	DOOR	FRAME	CORE	PAINT	GLASS	
A	LIVING RM.	SLIDING	-	6'-0"	5'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED
B	BED. / DINING	SLIDING	-	4'-0"	5'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED
C	BATH RM.	SLIDING	-	3'-0"	2'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364
TEL.: (818) 935-0393 FAX: (818) 935-0419

ARCHITECT:

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OWNER :

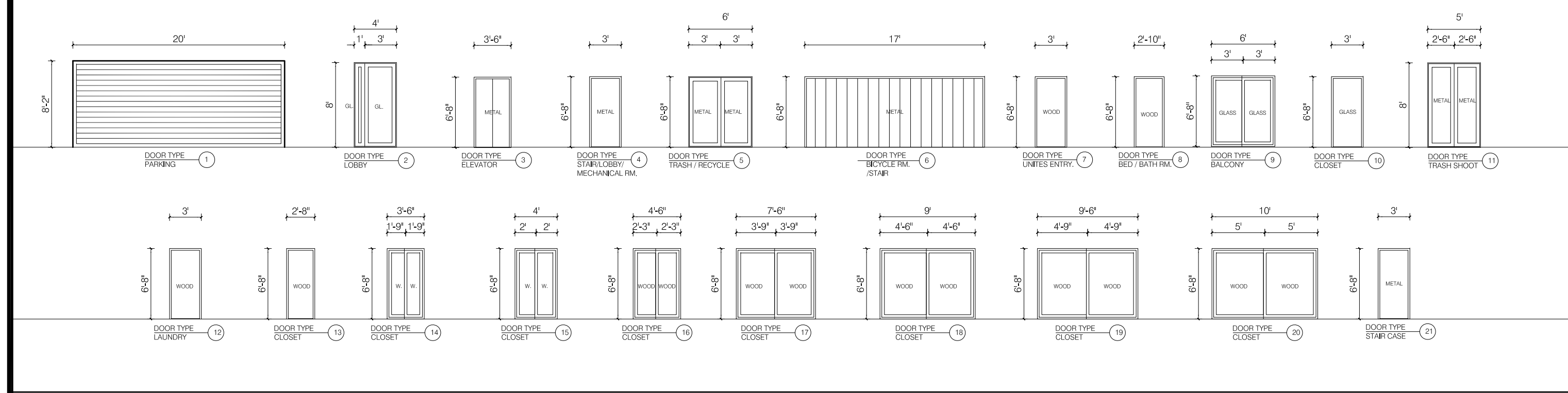
RAMI BEMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

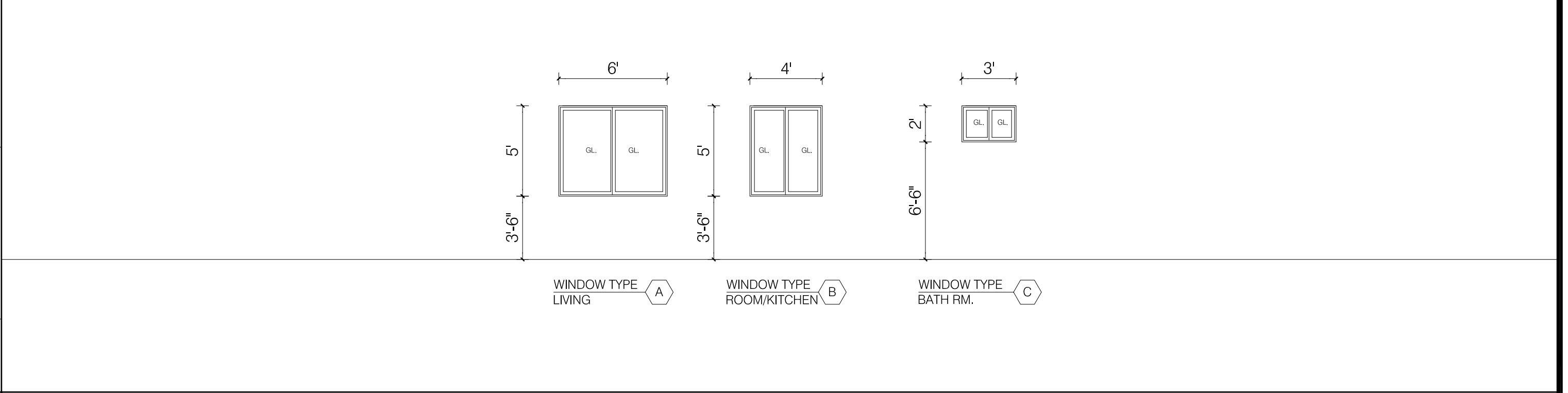
PROJECT :

802 NORTH EL CENTRO AVE, LOS ANGELES, CA 90038

DOOR ELEVATION AND TYPE



WINDOW ELEVATION AND TYPE



NOTE (DOORS):

- EXIT DOORS SHALL NOT BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. *APPLIES ALSO TO EXIT GATES*. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1003.3.18)
- DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7.75" LOWER THAN THE FLOOR IF IT DOES NOT SWING OVER IT (UBC 1004.9).
- INTERIOR WALL AND CEILING FINISHES ARE CLASS C.
- DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD OR SOLID OR HONEY COMB CORE STEEL NOT LESS THAN 1 3/8" INCHES THICK, OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MIN. (406.1.4).
- ALL RATED CORRIDOR CONSTRUCTION AND PROTECTED OPENINGS IN ACCORDANCE TO SECTION 709 FOR PARTITIONS, PROTECTIONS TO BE OF A 20MIN. DOORS AND 45MIN. FOR OTHER OPENINGS.
- PANIC/FIR EXIT HARDWARE SHALL INSTALLED AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE. (1008.1.10) OPENING PROTECTIVE SHALL BE PER SECTION TABLES 716.5 AND 716.6. DOORS SHALL BE 45 MIN. FIRE RATED AND WINDOWS SHALL BE 45 MIN. FIRE RATED (716)

NOTE (WINDOWS):

- BEDROOMS SHALL HAVE AN EGRESS WINDOW WITH SIZE AND HEIGHT AT MAX. 44" SILL HEIGHT. EACH BEDROOM, OFFICE & MAID'S ROOM SHALL HAVE AN EGRESS WINDOW COMPYING WITH SEC. 310.04 CBC.
- INTERIOR WALL AND CEILING FINISHES ARE CLASS C.

NOTE (FINISHING):

- FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 802. / 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.

MATERIAL & FINISH SCHEDULE

ROOM	FINISH										MATERIAL																				
	FLOOR		BASE	WALL		CEILING		FLOOR		WALL		CEILING																			
	CARPET	VINYL	CERAMIC TILE	CONCRETE	DEX O TEX	MARBLE	HARDWOOD	WOOD	COVERED VINYL TILE	MARBLE	CONCRETE	FLAT PAINT	ENAMEL PAINT	CERAMIC TILE	MARBLE	STUCCO	FLAT PAINT	ENAMEL PAINT	CONCRETE	LT. WT. CONC. O/PLY.	PLYWOOD	DEX O TEX	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE		
1	LIVING ROOM	●						●				●						●			●			●							
2	DINING ROOM		●					●				●						●			●			●							
3	BED ROOM		●					●				●						●			●			●							
4	KITCHEN			●				●				●						●			●			●							
5	CLOSET		●					●				●						●			●			●							
6	BATH ROOM			●				●				●						●			●			●							
7	MR. BATH ROOM			●				●				●						●			●			●							
8	CLOSET		●					●				●						●			●			●							
9	PARKING				●											●		●			●			●							
10	LAUNDRY			●				●				●						●			●			●							
11	DECK / BALCONY				●											●		●			●			●							
12	CORRIDOR			●				●				●						●			●			●							
13																															

SHEET TITLE:

DOOR / WINDOW SCHEDULE

REVISION:

NO.	DATE	BY

SCALE: -
DESIGN & DRAWN: FMI
DATE: 04.01.18
JOB NUMBER:

SHEET

A-5.0