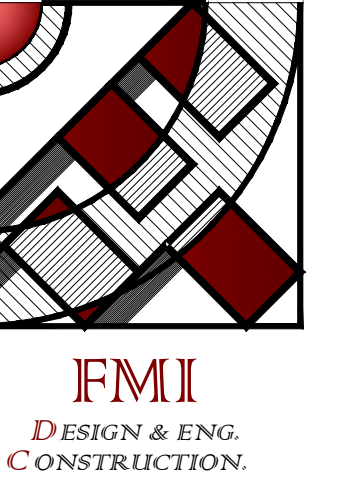


PROPOSED MIXED USE 34-UNITS APARTMENT BUILDING & 1365 SQ.FT COMMERCIAL

5879 Crenshaw Blvd, Los Angeles,
CA 90043



19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

PROJECT INFORMATION

PROJECT ADDRESS:
5879 CRENSHAW BLVD, LOS ANGELES, CA 90043

LEGAL DESCRIPTION:

ASSESSOR PARCEL NO. (APN): 4005003012
TRACT: TR 2095
MAP REFERENCE: M B 23-22
LOT: FR 68
MAP SHEET: 105B185
BLOCK: None
PIN #: 105B185 58

PROJECT OWNER AND ADDRESS:

5879 CRENSHAW LLC
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PLANNING AND ZONING INFORMATION:

PROPOSED: 100% PRIVATELY FUNDED 34-UNITS 4-STORY MIXED USE APARTMENT BUILDING
ZONING: C2-2D-SP
LOT AREA: 8,419.2 (sq ft)
ALLOWABLE HEIGHT PER SP: 60'
PROPOSED HEIGHT: 47'-6"

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES
APPLICABLE CODES: 2017 LOS ANGELES BUILDING CODE (LABC)
GROUP OF OCCUPANCY: R-2
TYPE OF CONSTRUCTION: TYPE V-A
SPRINKLER: YES / NFPA 13R SPRINKLER
BUILDING RATE: ONE HR. RATED
EXTERIOR WALLS: ONE HR. RATED

BUILDING SUMMARY:

PROJECT INFORMATION: 34-UNITS 4-STORY MIXED USE WITH 1365 SQ.FT. RETAIL
STORE APARTMENT BUILDING
09 UNITS 2+2
24 UNITS 1+1
01 UNIT SINGLE
RETAIL STORE 1365 SQ.FT.

FAR SUMMARY:

ALLOWABLE FAR:
1.5:1, (BY RIGHT) = 8,419.2 (sq ft) / 1.5 = 12,628.8
4.25:1, (PER TIER 4 IN COMMERCIAL ZONES) = 8,419.2 (sq ft) / 4.25 = 35,781.6
PROPOSED FAR:
BUILDING AREA INCLUDING RETAIL STORE = 27,576.0
27,576.0 < 35,781.6

PARKING SUMMARY:

AUTOMOBILE PARKING SUMMARY :
REQUIRED: NO AUTOMOBILE PARKING PER TIER4
PROPOSED: NO AUTOMOBILE PARKING

RESIDENTIAL BICYCLE PARKING SUMMARY :

REQUIRED:
1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS (MIN. 2 PARKING) SHORT TERM.
PROPOSED: LONG TERM SHORT TERM
APARTMENT 34 04
COMMERCIAL 02 02
TOTAL 36 06 = **42**

TOC AFFORDABLE HOUSING SUMMARY:

NUMBER OF UNITS:
LOT SIZE: 8,419.2 (sq ft)
MINIMUM AREA PER DWELLING UNIT: 400
UNITS ALLOWED BY RIGHT (PER LAMC): 8,419.2 (sq ft) / 400 = 21.048 = 22 UNITS
BASE DENSITY: 22 UNITS
PER TOC TIER 4: 22 UNITS x 1.8 = 39.6 = 40
PROPOSED: 34 UNITS

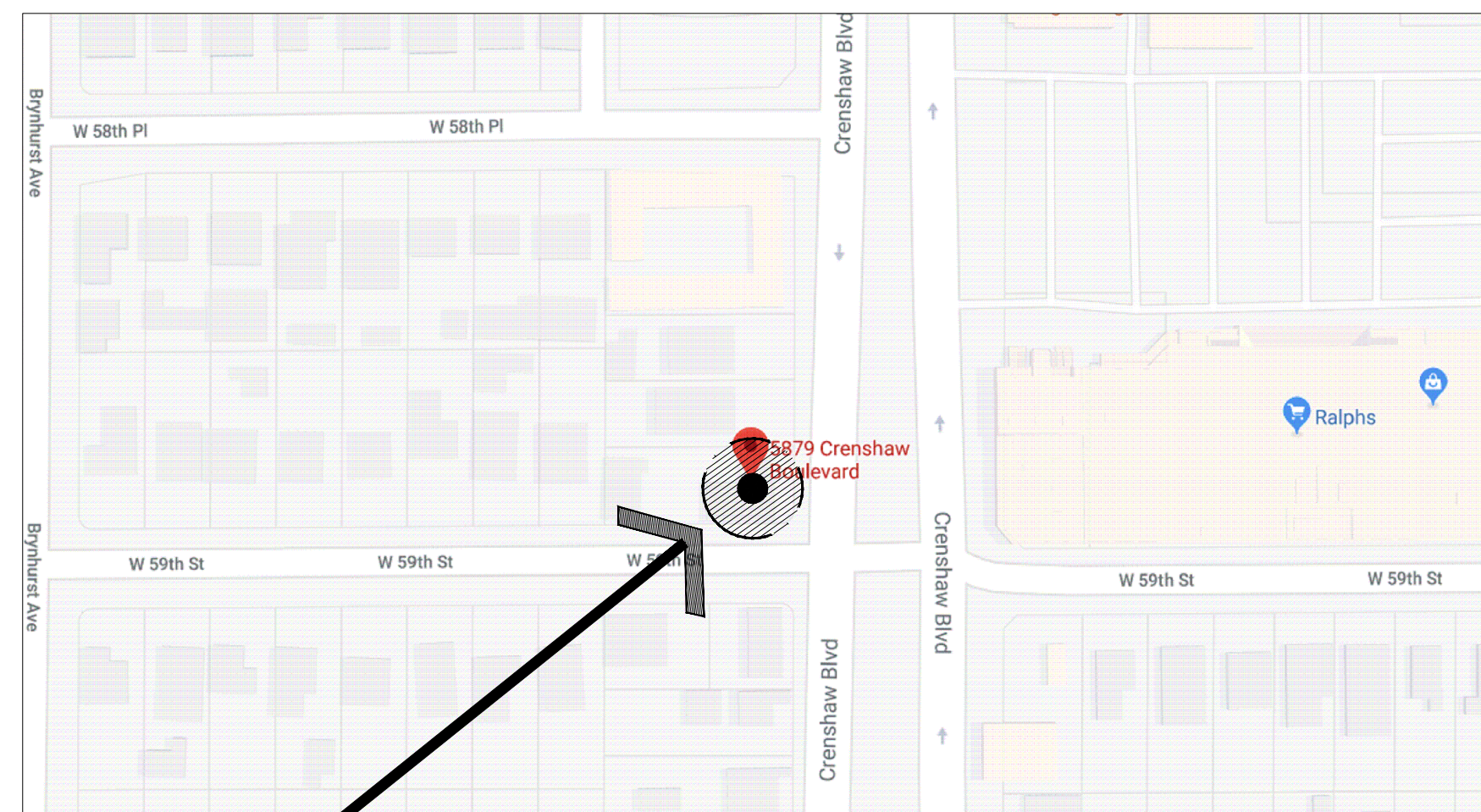
AFFORDABLE UNITS SUMMARY:

Market Rate: 27 UNITS
Very Low Income: 7 UNITS
TOTAL # of Units Proposed: 34 UNITS

Number of Density Increase Units: 12 UNITS
Percent Density Increase Requested: 1.54%
Percent of Affordable Set Aside: 20%



VICINITY MAP



**5879 CRENSHAW BLVD LOS ANGELES,
CA 90043**

NOTES

CODE:

- 2017 LOS ANGELES BUILDING CODE (LABC) BASED ON 2017 CALIFORNIA BUILDING CODE (CBC), GRN, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES ARE APPLICABLE IN THIS PROJECT. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND FIRE ALARM.
- AN APPROVED AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. (BUILDING CODE 903 AND FIRE CODE 903) (UNDER SEPARATE PERMIT)
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DVI. PRIOR TO INSTALLATION.
- A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". (907.2.9, 907.5.2.3.4) (UNDER SEPARATE PERMIT)
- THIS BUILDING IS 100% PRIVATELY FUNDED.

INDEX OF DRAWINGS

SHEET	TITLE	SHEET	TITLE
A-0.0 A-0.1	COVER SHEET	T-24	
A-1.0	TOPOGRAPHY		
A-1.1	SITE PLAN		
A-2.0	FIRST FLOOR PLAN		
A-2.1	SECOND FLOOR PLAN		
A-2.2	THIRD FLOOR PLAN		
A-2.3	FOURTH FLOOR PLAN		
A-2.4	ROOF PLAN		
A-2.5 - A-2.14	LAYOUT PLANS		
A-3.0	ELEVATIONS		
A-3.1	ELEVATIONS		
A-4.0	SECTIONS		

ATTACHMENT "A"

Attachment "A"
(7-30-99)

Job Address 5879 Crenshaw Blvd, Los Angeles, CA 90043 Permit # 20010 20000 02714

DEPARTMENT OF BUILDING AND SAFETY Minimum Requirements for Construction Projects/ Certification Statement

- The following is intended as an attachment to the construction/grading plans and represent the minimum standards of good housekeeping which must be implemented on all sites as Development Construction Projects.
- Development Construction Projects are defined as projects where there is less than two acres of disturbed soil, not located in designate hillside areas, and not in or adjacent to an environmental sensitive areas. Note: A project in a designated hillside area with less than two acres of disturbed soil and not in or adjacent to an environmental sensitive areas may be classified as a Development Construction Project if the Grading Pre-Inspection (GPI) is not required or the entire lot has a slope of ten percent or less.
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage course or wind.
 - Stockpiles of earth and other construction-related materials must be protected from being transported from site by wind or water
 - Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil nor the surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
 - Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete waste on-site until they can be disposed of as solid waste.
 - Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
 - Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above, necessary to control stormwater pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

Print name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____
(Owner or authorized agent of the owner)

PROJECT DIRECTORY

DESIGN BY :

NAME : FMI DESIGN, ENGINEERING & CONSTRUCTION
ADD : 19730 VENTURA BLVD., #5 WOODLAND HILLS, CA 91364
TEL. : (818) 231-8475
FAX. : (818) 932-0419
E-MAIL : yaghi@aol.com

STRUCTURAL ENGINEER :

NAME : ZHANG YUAN NI
ph.d., p.e.
ADD : 8823 GARVEY AVE #B 1/2 ROSEMEAD, CA 91770
TEL. : (626) 298-1828
FAX. : (626) 571-4040
E-MAIL : zyniengineering@gmail.com

ENERGY CONSULTANT :

NAME : PERFECT DESIGN & ENGINEERING, INC.
ADD : 2416 W. VALLEY BLVD. ALHAMBRA, CA 91803
TEL. : (626) 289-8808
FAX. : (626) 289-4913
E-MAIL : PERFECTAAA@aol.com

SOIL ENGINEER :

NAME : ADVANCED GEOTECHNIQUES
ADD : 16555 SHERMAN WAY, SUITE A-VAN NUYS CA 91406
TEL. : 818-785-5244
FAX. : 818-785-5244
E-MAIL : tj@agigeo.com

SURVEYOR :

NAME : MOLAI LAND & DESIGN
ADD : 24308 BURBANK BLVD WOODLAND HILLS, CA 91367
TEL. : 818-325-9225
FAX. : 818-325-9225
E-MAIL : MOLAI22@YAHOO.COM

LANDSCAPE ARCHITECT :

NAME : _____
ADD : _____
TEL. : _____
FAX. : _____
E-MAIL : _____

ELECTRICAL ENGINEER :

NAME : _____
ADD : _____
TEL. : _____
FAX. : _____
E-MAIL : _____

MECHANICAL ENGINEER :

NAME : _____
ADD : _____
TEL. : _____
FAX. : _____
E-MAIL : _____

GEOTECHNICAL ENGINEER :

NAME : _____
ADD : _____
TEL. : _____
FAX. : _____
E-MAIL : _____

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OWNER :

5879 Crenshaw Blvd
Los Angeles, CA 90043

PROJECT :

5879 Crenshaw Blvd
Los Angeles, CA 90043

SHEET TITLE:

COVER SHEET

REVISION:

NO.	DATE	BY
-	-	-

SCALE:

DESIGN & DRAWN: FMI
DATE: 03.10.21

JOB NUMBER:

SHEET

A-0.0

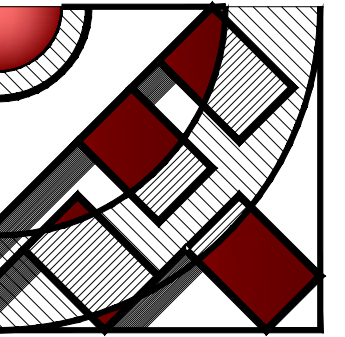
ELEVATION KEY NOTES

- 1 CLASS "A" ROOF
- 2 STUCCO
- 3 DOWNSPOUT
- 4 GUARDRAIL

EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

DESIGN BY:

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OWNER :

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

ELEVATIONS

REVISION:

NO.	DATE	BY

SCALE: 1/8" = 1'-0"
DESIGN & DRAWN: FMI
DATE: 02.11.21
JOB NUMBER:

SHEET

A-3.3

ELEVATION KEY NOTES

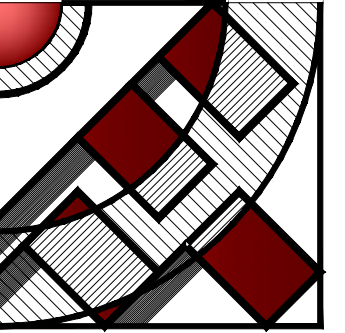
- 1 CLASS "A" ROOF
- 2 STUCCO
- 3 DOWNSPOUT
- 4 GUARDRAIL



WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

DESIGN BY:

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OWNER :

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

ELEVATIONS

REVISION:

NO.	DATE	BY

SCALE: 1/8" = 1'-0"

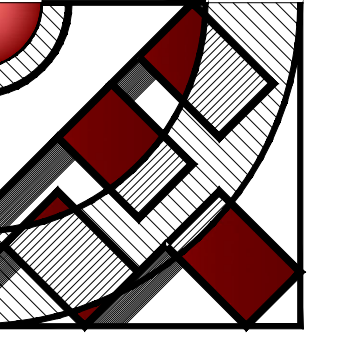
DESIGN & DRAWN: FMI

DATE: 02.11.21

JOB NUMBER:

SHEET

A-3.2



FMI
DESIGN & ENG.
CONSTRUCTION

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WOODLAND HILLS CA 91364
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OWNER :

5879 Crenshaw Blvd
Los Angeles, CA 90043

PROJECT :

5879 Crenshaw Blvd
Los Angeles, CA 90043

SHEET TITLE:

FIRST FLOOR PLAN

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8"= 1'-0"

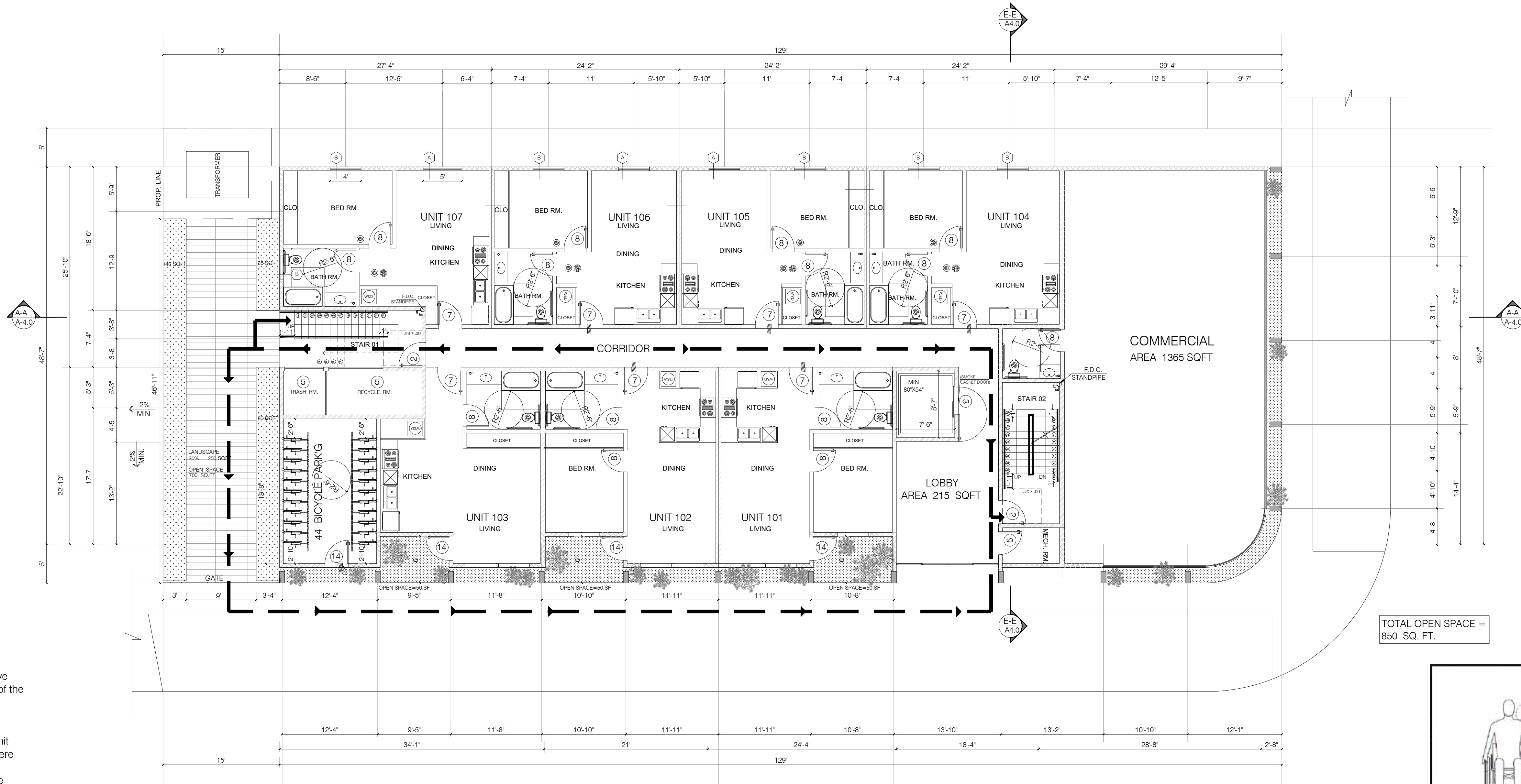
DESIGN & DRAWN: FMI

DATE: 02.11.21

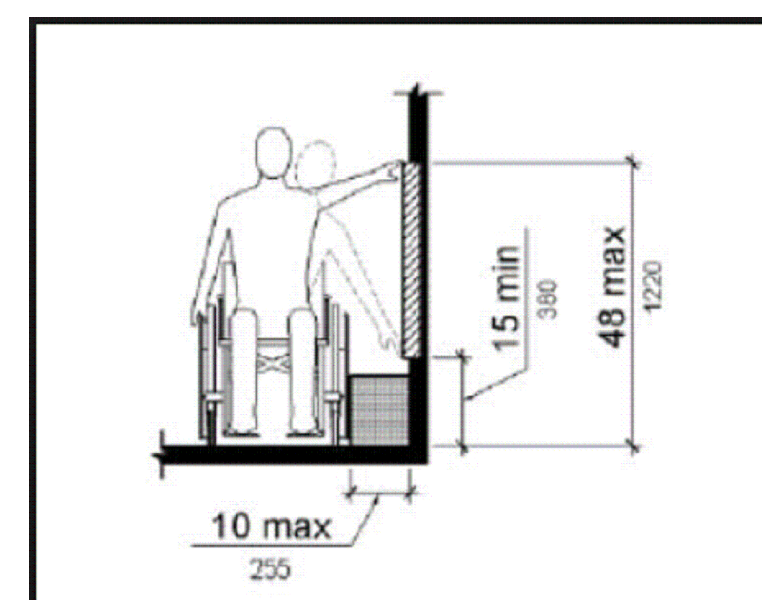
JOB NUMBER:

SHEET

A-2.0



TOTAL OPEN SPACE = 850 SQ. FT.



UNOBSTRUCTED SIDE REACH MAILBOX DETAIL.

GRN NOTES:
g. sufficient capacity to simultaneously charge all
Add note to plans: "The electrical system shall have designated EV spaces at the full rated amperage of the h. circuit directory shall identify the overcurrent Add note to plans: "The service panel or subpanel is required."
minimum branch circuit. A separate electrical permit EVSE. Plan design shall be based upon a 40-ampere protective device space(s) reserved for future EV charging purposes as EV CAPABLE in accordance with the Los Angeles Electrical Code."
11. Add note to plans: "A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant."
(Energy Code §110.10(d))
18. Add note to plans: "For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval."
(State Assembly Bill No. 1881)

NOTES:
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

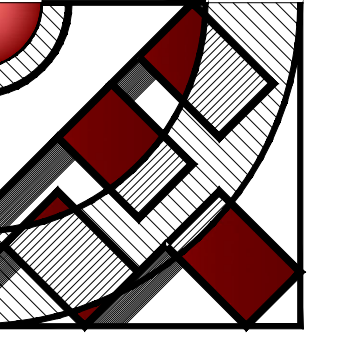
- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 48"x30" CLEAR FLOR SPACE

FIRST FLOOR PLAN

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

5879 Crenshaw Blvd
Los Angeles, CA 90043

PROJECT :

5879 Crenshaw Blvd
Los Angeles, CA 90043

SHEET TITLE:

SECOND FLOOR PLAN

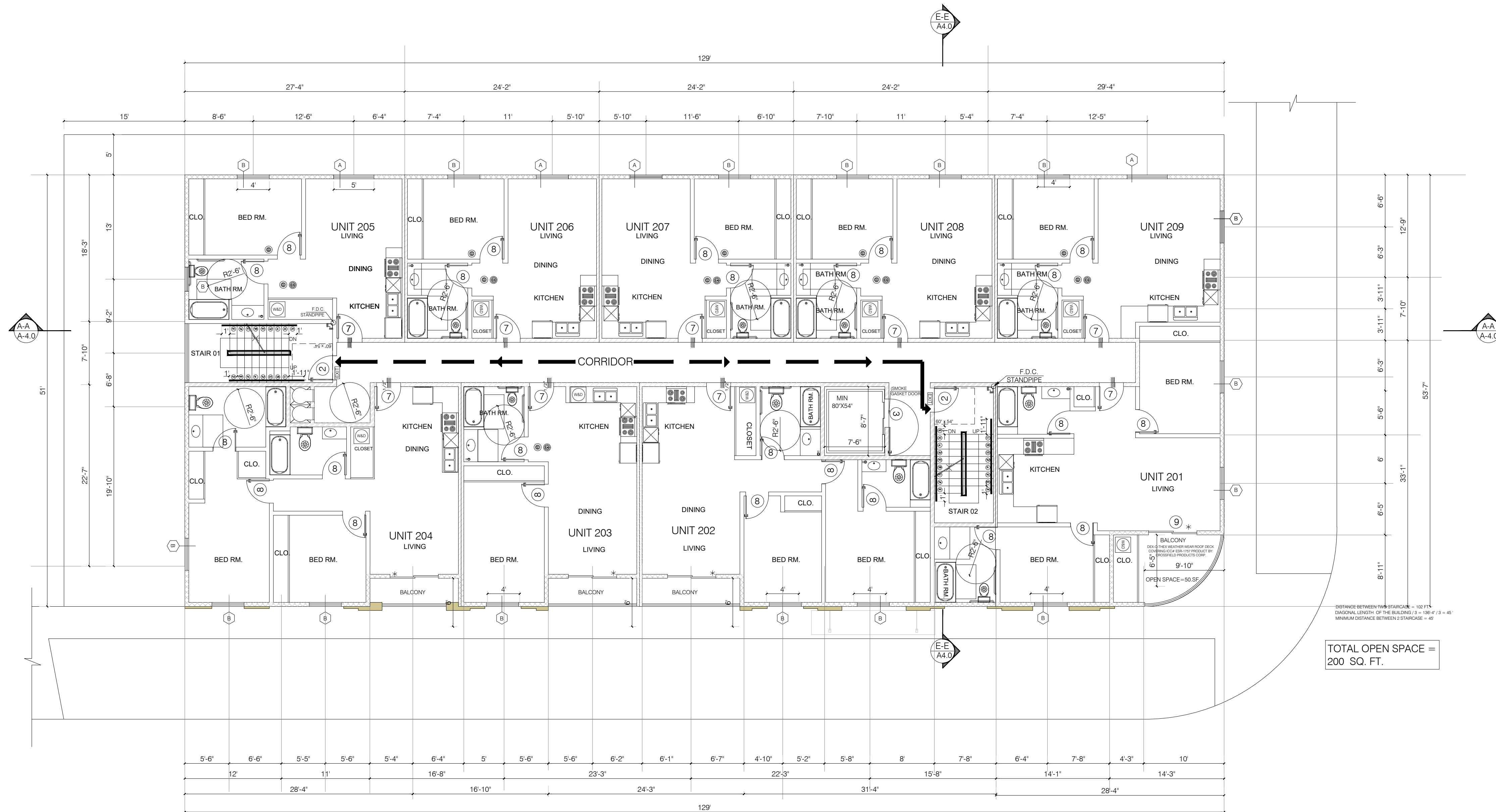
REVISION:

NO.	DATE	BY
-	-	-

SCALE:	1/8"=1'-0"
DESIGN & DRAWN:	FMI
DATE:	02.11.21
JOB NUMBER:	

SHEET

A-2.1



SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

EXIT ACCESS

- EXIT ACCESS DOORWAYS, STAIRWAYS OR RAMPS SHALL BE PLACED A DISTANCE APART > (6) THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA TO BE SERVED (CBC 1007.1.1) ALLOWABLE: 131' / 2 = 65.5' PROPOSED: 64'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

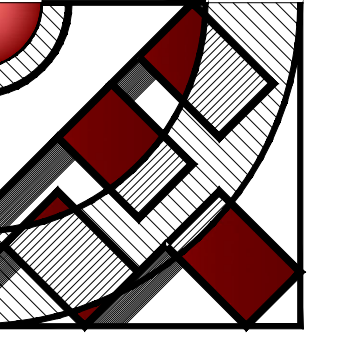
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8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 30" 48"x30" CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

5879 Crenshaw Blvd
Los Angeles, CA 90043

PROJECT :

5879 Crenshaw Blvd
Los Angeles, CA 90043

SHEET TITLE:

THIRD FLOOR PLAN

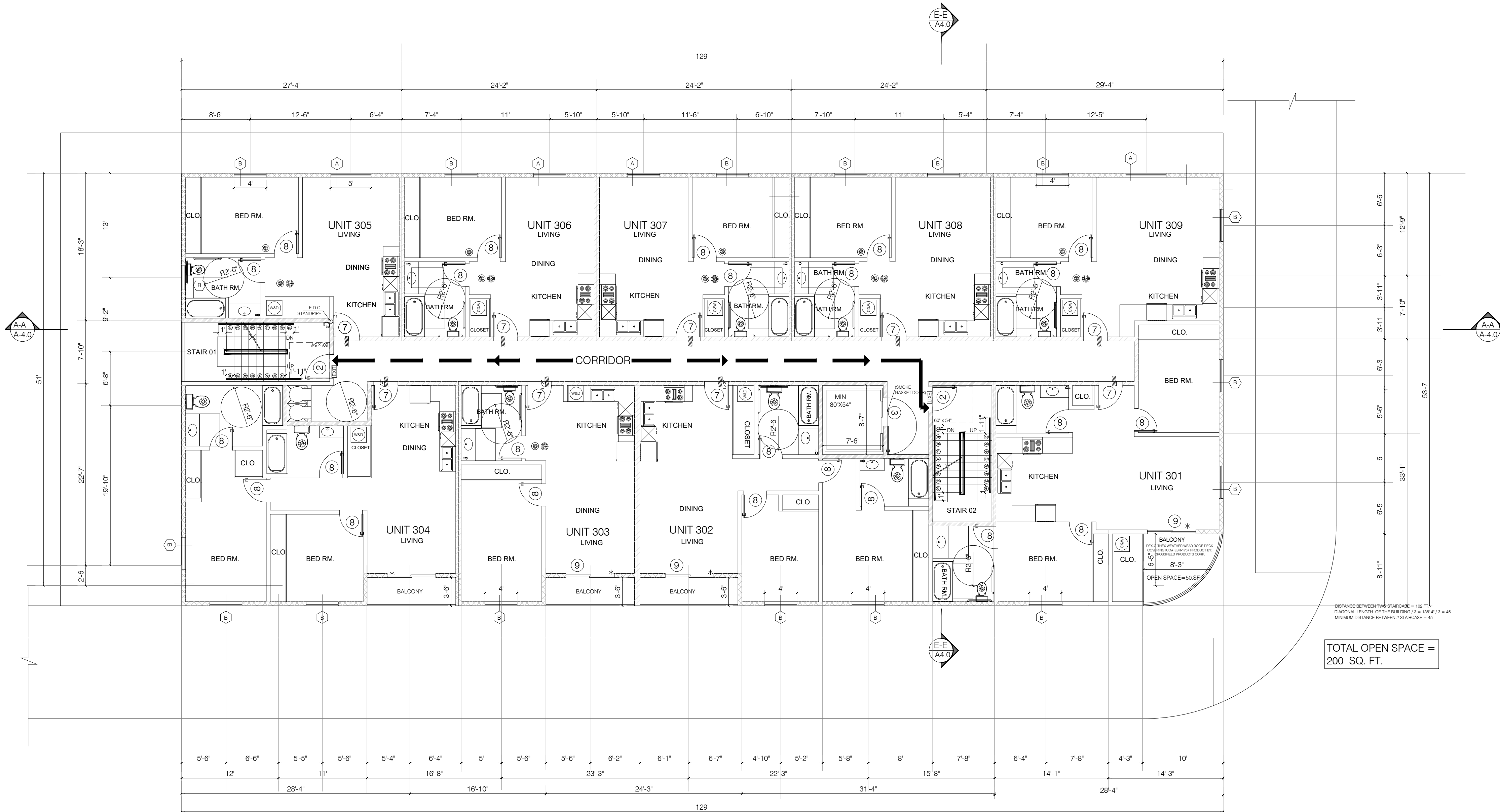
REVISION:

NO.	DATE	BY
-	-	-
-	-	-
-	-	-
-	-	-

SCALE:	1/8"=1'-0"
DESIGN & DRAWN:	FMI
DATE:	02.11.21
JOB NUMBER:	

SHEET

A-2.2



THIRD FLOOR PLAN

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

EXIT ACCESS

- EXIT ACCESS DOORWAYS, STAIRWAYS OR RAMPS SHALL BE PLACED A DISTANCE APART > (6) THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA TO BE SERVED (CBC 1007.1.1) ALLOWABLE: 131' / 2 = 65.5' PROPOSED: 64'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
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