PROPOSED 20-UNITS APARTMENT BUILDING

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

PROJECT INFORMATION

PROJECT ADDRESS:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

LEGAL DESCRIPTION:

ASSESSOR PARCEL NO. (APN): 6011001063

THE MC CARTHY COMPANY'S GREATER LOS ANGELES TRACT

MAP REFERENCE: M B 9-134/135

2,3 105B205 MAP SHEET

BLOCK:

105B205 1261, 105B205 1267

PROJECT OWNER AND ADDRESS:

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PLANNING AND ZONING INFORMATION:

PROPOSED: 100% PRIVATELY FUNDED 20-UNITS 3-STORY

OVER PARKING / BASEMENT APARTMENT BUILDING

ZONING:

LOT AREA: 5,200.4 SQ. FT.+5,200.3 SQ. FT.=10,400.7

ALLOWABLE HEIGHT:

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES

2017 LOS ANGELES BUILDING CODE (LABC) **APPLICABLE CODES:**

GROUP OF OCCUPANCY: R-2/S-2

TYPE OF CONSTRUCTION: TYPE V-A YES / NFPA 13 SPRINKLER SPRINKLER:

BUILDING RATE: ONE HR. RATED

EXTERIOR WALLS: ONE HR. RATED

BUILDING SUMMARY:

PROJECT INFORMATION: 20-UNITS 3-STORY APARTMENT BUILDING OVER PARKING /

BASEMENT TOTAL OF 4-STORY 18 UNITS: 2+2 - 2 UNITS: 1+1

REC RM. 1

(100% PRIVET FUNDING)

(NOT A PUBLIC HOUSING) (NO TAX CREDIT RECEIVED)

PARKING SUMMARY PER TOC (TIER 1):

REQUIRED AUTOMOBILE PARKING:

REQUIRED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1

(18- 2 BED UNITS) +(2-1 BED UNITS) = 38 BED ROOMS / 38 X 0.5= 19 PARKING SPACES

REQUIRED 1 AUTOMOBILE PARKING PER 500 SQF.

700 SQF. / 500 SQF. = 2 PARKING SPACES TOTAL PARKING REQUIRED : 21 PARKING SPACES

REQUIRED BICYCLE PARKING:

REQUIRED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS (MIN. 2

PARKING) SHORT TERM. LONG TERN BICYCLE: 20 SHORT TERM BICYCLE:

COMMERCIAL BICYCLE:

SUBTOTAL: 24 BICYCLE PARKING

PROPOSED AUTOMOBILE PARKING:

PROPOSED 0.5 PARKING PER BEDROOM. PER TOC TIER1

(18x2 BED UNITS)+(2x1 BED UNITS)= 38 BEDROOMS / 38 X 0.5= 19 PARKING SPACES 1 AUTOMOBILE PARKING PER 500 SQF. 700 SQF. / 500 SQF. = 2 PARKING SPACES

2 PARKING 2 PARKING 17 PARKING STANDARD

PROPOSED BICYCLE PARKING:

PROPOSED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS SHORT TERM. LONG-TERM BICYCLE 24 PARKING

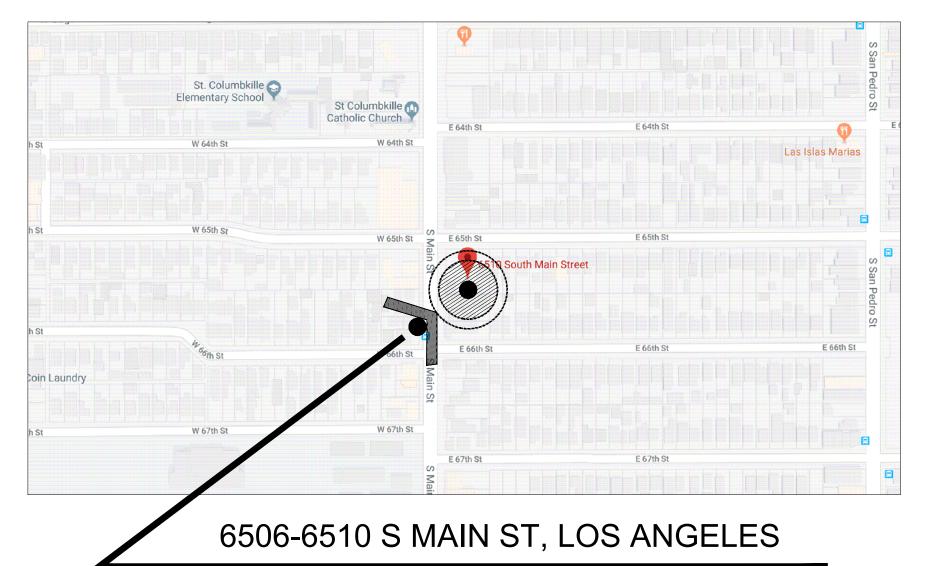
SHORT-TERM BICYCLE 2 PARKING

PROPOSED 26 BICYCLE PARKING

SUBTOTAL: 21 AUTOMOBILE AND 26 BICYCLE PARKING



VICINITY MAP



CA 90003

NOTES

CODE:

- 2017 LOS ANGELES BUILDING CODE (LABC) BASED ON 2017 CALIFORNIA BUILDING CODE (CBC), GRN, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES ARE APPLICABLE IN THIS PROJECT.

- AN AUTOMATIC NFPA-13 SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT

THE BUILDING. (LAFC 903.2.1-903.2.19. (UNDER SEPARATE PERMIT)

- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DVI.

PRIOR TO INSTALLATION. - APPROVED MANUAL FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT BUILDING IN ACCORDANCE WITH LAFC . (907.2.9, 907.5.2.3.4) (UNDER SEPARATE PERMIT)

- THIS BUILDING:

IS 100% PRIVATELY FUNDED.

NOT A PUBLIC HOUSING. NOT TAX CREDIT RECEIVED.

- PRIOR TO FINALIZING THE NUMBERING OF ALL THE FLOOR, STAIRS, ELEVATORS, AND FIRE ALARM ANNUNCIATOR, A JOB WALK OR JOB MEETING WITH THE FIRE INSPECTOR IS REQUIRED.

[Q] Conditions:

a. No building or structure shall "exceed three stories or 45 feet in height. b. Residential development shall be limited to the density of the R3 Zone.

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| | N-2.6 - N-2.9 | ACCESSIBILITY NOTES PLAN REVIEW LIST | | | |

ATTACHMENT "A"

Attachment "A" (7-30-99)

<u> 18010 _ 20000 _ 02713</u>

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

DEPARTMENT OF BUILDING AND SAFETY

Certification Statement The following is intended as an attachment to the construction/grading plans and represent the minimum standards

Minimum Requirements for Construction Projects/

of good housekeeping which must be implemented on all sites as Development Construction Projects. Development Construction Projects are defined as projects where there is less than two acres of disturbed soil, not

located in designate hillside areas, and not in or adjacent to an environmental sensitive areas. Note: A project in a designated hillside area with less than two acres of disturbed soil and not in or adjacent to an environmenta sensitive areas may be classified as a Development Construction Project if the Grading Pre-Inspection (GPI) is not required or the entire lot has a slope of ten percent or less.

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from site by wind or water
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil nor the surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete waste on-site until they can be disposed of as solid waste.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above, necessary to control stormwater pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

(Owner or authorized agent of the owner)

(Owner or authorized agent of the owner)

PROJECT DIRECTORY

DESIGN BY: FMI DESIGN, ENGINEERING & CONSRTUCTION 19730 VENTURA BLVD., #5 WOODLAND HILLS, CA 91364 (818) 231-8475 FAX. (818) 932-0419 yagh@aol.com E-MAIL **STRUCTURAL ENGINEER:** ZHANG YUAN NI ph.d., p.e. 8823 GARVEY AVE #B 1/2 ROSEMEAD, CA 91770 (626) 298-1828 FAX. (626) 571-4040 E-MAIL: zyniengineering@gmail.com **ENERGY CONSULTANT:**

: PERFECT DESIGN & ENGINEERING, INC.

2416 W. VALLEY BLVD ALHAMBRA, CA 91803 (626) 289 - 8808(626) 289-4913 PERFECTAAA@aol.com

SOIL ENGINEER : PETER PAILIAN. ASSOCIATE ENGINEER ADVANCED GEOTECHNIQUES . 3467 OCEAN VIEW BOULEVARD, SUITE C 818-549-0330

SURVEYOR:

NAME

E-MAIL

NAME : MOLAI LAND & DESIGN 24308 BURBANK BLVD WOODLAND HILLS, CA 91367 818-325-9225 FAX. E-MAIL : MOLAI22@YAHOO.COM

LANDSCAPE ARCHITECT:

E-MAIL: WEB: WWW.GEOTECHNIQ.COM

ADD FAX. E-MAIL

ELECTRICAL ENGINEER:

ADD FAX. E-MAIL

MECHANICAL ENGINEER:

ADD FAX. E-MAIL GEOTECHNICAL ENGINEER:

NAME ADD FAX.

DESIGN & ENG 19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

CONSTRUCTION.

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS CA 91364

PROJECT:

6506-6510 S MAIN ST. LOS ANGELES. CA 90003

SHEET TITLE:

COVER SHEET

REVISION: DATE - -

SCALE: DESIGN & DRAWN: FMI 10.02.21 JOB NUMBER:

SHEET

PROJECT INFORMATION

PARKING SUMMARY

AUTOMOBILE PARKING

| REQUIRED PARKING SPACES | | | | | | | | | | | |
|--|--|----------|----|--|--|--|--|--|--|--|--|
| UNIT/NO. OF BED RM. | UNIT/NO. OF BED RM. REQUIRED PARKING TOC PER BED RM. (TIER1) NUMBER OF UNITS NUMBER OF PARKING | | | | | | | | | | |
| 2 BED ROOM UNIT | 0.5 | 18 UNITS | 18 | | | | | | | | |
| 1 BED ROOM UNIT | 0.5 | 2 UNITS | 1 | | | | | | | | |
| COMMERCIAL 1 PARKING PER 500 SQF. 700 SQF. 2 | | | | | | | | | | | |
| TOTAL | TOTAL 21 | | | | | | | | | | |

PROPOSED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1

18 UNITS - 2 BEDROOM = 18 BEDROOMS - 2 UNITS - 1 BEDROOM = 2 BEDROOMS

38 BEDROOM X 0.5 PARKING = 19 PARKING SPACES.

1 PARKING PER 500 SQF. COMMERCIAL = 2 PARKING SPACES.

REQUIRED PARKING SPACES = 21

| PROPOSED PARKING | | | | | | | | |
|------------------------------|-------------------------------|---|----|---|----|--|--|--|
| NUMBER OF PARKING | | | | | | | | |
| LOCATION | LOCATION H/C E/V STD. COMPACT | | | | | | | |
| FIRST FLOOR | 2 | 2 | 18 | 0 | 22 | | | |
| TOTAL: 22 AUTOMOBILE PARKING | | | | | | | | |

PROPOSED 22 PARKING SPACES (NO GUEST PARKING)

BICYCLE PARKING

| REQUIRED | PARKING |
|-------------------|-------------------------------|
| LONG-TERM | SHORT-TERM |
| ONE PER UNIT = 20 | ONE PER 10 UNITS (MIN. 2) = 2 |
| TOTAL | 22 BICYCLE PARKING |

| PROPOSE | D PARKING |
|-----------------------------|--------------------|
| LONG-TERM | SHORT-TERM |
| 24 | 2 |
| PROPOSED 26 BICYCLE PARKING | |
| TOTAL | 26 BICYCLE PARKING |

AREA CALCULATION SUMMARY

PARKING AREA CALCULATION

| PARKING AREA | | | | | |
|-----------------|------------------|--|--|--|--|
| SPACE | TOTAL sq. ft. | | | | |
| PARKING | 5,741.78 | | | | |
| BICYCLE PARKING | 208.44 | | | | |
| TRASH ROOM | 129.20 | | | | |
| STAIRCASE | 288 | | | | |
| MECHANICAL RM. | 57.50 | | | | |
| DRIVEWAY | 3,298.60 | | | | |
| LOBBY | 77.38 | | | | |
| ELEVATOR | 86.90 | | | | |
| EXTERIOR WALLS | 274.31 | | | | |
| TOTAL | 10,162.11 | | | | |

UNITS AREA CALCULATION

| FLOORS | | LIVING A | AREA | | OPEN SPACE | |
|--------------------|-----------|------------------|---------|-----------|-------------------|---------|
| | GROSS | EXTERIOR WALLS | STAIRS | NET AREA | BALCONY | DECK |
| | sq. ft. | sq. ft. | sq. ft. | sq. ft. | sq. ft. | sq. ft. |
| REC RM. | 681.50 | 23.30 | | 658.20 | | |
| UNIT- 201 (2+2) | 904.50 | 30.00 | | 874.50 | | |
| UNIT- 202 (2+2) | 883.10 | 19.60 | | 863.50 | | |
| UNIT- 203 (2+2) | 863.50 | 30.40 | | 833.10 | | |
| UNIT- 204 (2+2) | 903.60 | 11.70 | | 891.90 | | |
| UNIT- 205 (2+2) | 843.10 | 29.70 | | 813.40 | | |
| UNIT- 206 (2+2) | 980.70 | 17.90 | | 895.40 | 52.20 | |
| 2ND FLOOR TOTAL | 6,060.00 | 162.60 | | 5,832.0 | 52.20 | |
| FLOORS | | LIVING A | AREA | | OPEN S | PACE |
| | GROSS | EXTERIOR WALLS | STAIRS | NET AREA | BALCONY | DECK |
| | sq. ft. | sq. ft. | sq. ft. | sq. ft. | sq. ft. | sq. ft. |
| UNIT- 301 (2+2) | 681.50 | 23.30 | | 658.20 | | |
| UNIT- 302 (2+2) | 904.50 | 30.00 | | 874.50 | | |
| UNIT- 303 (2+2) | 883.10 | 19.60 | | 863.50 | | |
| UNIT- 304 (2+2) | 863.50 | 30.40 | | 833.10 | | |
| UNIT- 305 (2+2) | 903.60 | 11.70 | | 891.90 | | |
| UNIT- 306 (2+2) | 843.10 | 29.70 | | 813.40 | | |
| UNIT- 307 (2+2) | 980.70 | 17.90 | | 962.80 | 52.20 | |
| 3RD FLOOR TOTAL | 6,060.00 | 162.60 | | 5,897.40 | 52.20 | |
| FLOORS | | OPEN SPACE | | | | |
| | GROSS | EXTERIOR | STAIRS | NET AREA | BALCONY | DECK |
| | sq. ft. | WALLS sq. ft. | sq. ft. | sq. ft. | sq. ft. | sq. ft. |
| UNIT- 401 (2+2) | 681.50 | 23.30 | | 658.20 | | |
| UNIT- 402 (2+2) | 904.50 | 30.00 | | 874.50 | | |
| UNIT- 403 (2+2) | 883.10 | 19.60 | | 863.50 | | |
| UNIT- 404 (2+2) | 863.50 | 30.40 | | 833.10 | | |
| UNIT- 405 (2+2) | 903.60 | 11.70 | | 891.90 | | |
| UNIT- 406 (2+2) | 843.10 | 29.70 | | 813.40 | | |
| UNIT- 407 (2+2) | 980.70 | 17.90 | | 962.80 | 52.20 | |
| 4TH FLOOR TOTAL | 6,060.00 | 162.60 | | 5,897.40 | 52.20 | |
| TOTAL | 18,180.00 | 487.80 | | 17,626.80 | 156.60 | |

OCCUPANCY LOAD SUMMARY

| | OCCUPA | ANCY LOAD | | |
|---|---|---|----------------|--|
| SPACE | TOTAL sq. ft. | FLOOR AREA IN SQ.FT. PER OCCUPANT | OCCUPANCY LOAD | |
| 2ND FLOOR | 6,393.80 | 1/200 | 32 | |
| REC. RM. | 681.50 | 1/15 | 46 | |
| 3RD FLOOR | 7,075.30 | 1/200 | 36 | |
| 4RD FLOOR | 7,075.30 | 1/200 | 36 | |
| COURTYARD | 468.0 | 1/15 | 32 | |
| ROOF DECK | 1,282.00 | 1/15 | 86 | |
| 1ST. FLOOR | 10165.00 | 1/200 | 50 | |
| | EXIT S | SUMMERY | | |
| MIN. REQUIRED NO. | OF OCCUPANTS WI | TH 2 EXIT: 11-500 | | |
| 2ND FLOOR OCCUP 3RD FLOOR OCCUP RE. RM. OCCUPANT 4TH FLOOR OCCUP | ANTS LOAD : 36 P S LOAD : 46 P ANTS LOAD : 36 P | ROVIDED EXITS: 2 ROVIDED EXITS: 2 ROVIDED EXITS: 2 ROVIDED EXITS: 2 | | |
| | PANTS LOAD : 32 PI PANTS LOAD : 86 P | | | |

FLOOR AREA RATIO

| FAR | | | | | |
|--|------------------|--|--|--|--|
| SPACE | TOTAL sq. ft. | | | | |
| LOT AREA | 10,400.70 | | | | |
| 1ST FLOOR (BASEMENT) LOBBY | 365.40 | | | | |
| 2ND FLOOR | 7,075.30 | | | | |
| 3RD FLOOR | 7,075.30 | | | | |
| 4RD FLOOR | 7,075.30 | | | | |
| TOTAL FLOOR AREA | 21,695.90 | | | | |
| BUILDABLE AREA | 8,050.00 | | | | |
| FAR BY RIGHT = 1.5:1 PER C ZONE / FAR BY TIER1 = 2.75:1 BY RIGHT= 8,050.00 X 1.5 = 12,075.00 BY TIR 1= 8,050.00 X 2.75 = 22,137.00 22,137.00 > 21,695.90 | | | | | |

ASSESSABLE FLOOR AREA

FOR SCHOOL FE

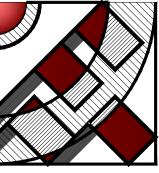
| FLOORS AREA | | | | | | | |
|------------------|---------------|--|--|--|--|--|--|
| SPACE | TOTAL sq. ft. | | | | | | |
| 2ND FLOOR | 7,075.30 | | | | | | |
| 3RD FLOOR | 7,075.30 | | | | | | |
| 4RD FLOOR | 7,075.30 | | | | | | |
| TOTAL FLOOR AREA | 21,225.90 | | | | | | |

FLOORS' AREA CALCULATION

| | Α | В | С | D | CALC. A-(B+C+D) | E | CALC. A-(B+E) |
|--|------------------------------|-------------------|----------------------------------|------------------------------------|--------------------|---|---------------|
| FLOOR AREA CALCULATION PER BUILDING CODE ZONING CODE | GROSS AREA OF BUILDING | EXTERIOR WALLS | CORRIDORS, HALLWAYS, LOBBY | AREA OF OPEN SHAFTS, & VENTS | BUILDING CODE AREA | AREA OF STAIRWAYS, SHAFTS, MECH. | ZONING AREA |
| | sq. ft. | sq. ft. | | sq. ft. | sq. ft. | | sq. ft. |
| 2ND FLOOR | 7,075.30 | 179.00 | 785.50 | 86.90 | 6,023.90 | 288 | 6,608.30 |
| 3RD FLOOR | 7,075.30 | 179.00 | 707.50 | 86.90 | 6,101.90 | 288 | 6,608.30 |
| 4RD FLOOR | 7,075.30 | 179.00 | 707.50 | 86.90 | 6,101.90 | 288 | 6,608.30 |
| TOTAL | 21,225.90 | 537.00 | 2,200.50 | 260.70 | 18,227.70 | 864.00 | 19,824.90 |

OPEN SPACE SUMMARY

| REQUIRED OPEN SPACE | | | | | PROPOSED OPEN SPACE | | | | |
|-------------------------------------|------------------------------------|-----------------|---------------------------|-----------|-----------------------|------------------------------|---|------------------------------------|--|
| UNIT BY NO. OF BED. | REQUIRED OPEN SPACE PER UNIT | NO. OF UNITS | TOTAL REQUIRED OPEN SPACE | SPACE | | LOCATED AT REAR YARD | | AREA OF OPEN SPACE (SQ. FT.) | |
| | (SQ. FT.) | | (SQ. FT.) | | | | | - | |
| ONE BED. UNIT (>3 HABITABLE RM.) | 100.00 | 2 | 200 | | В | 2ND FLOOR (COURTYARD) | | 468.00 | |
| TWO BED. UNIT (= 3 HABITABLE RM.) | 125.00 | 18 | 2,250.00 | | С | 3RD FLOOR | | - | |
| THREE BED. UNIT (<3 HABITABLE RM.) | 175.00 | - | - | | D | 4TH FLOOR | | - | |
| TOTAL | | 00 | 0.450.00 | E | | REC. RM. | | 600.00 | |
| TOTAL | | 20 | 2,450.00 | F | | ROOF DECK | | 1,282.00 | |
| | | | | | G | BALCONY | | 150.00 | |
| | | | | ရွ | | NO. OF BALCONIES IN PARKING | - | - | |
| | | | | ONE | 4-STORY OVER BASEMENT | NO. OF BALCONIES ON 1ST. FL. | 1 | 50.00 | |
| | | | | BALCONIES | PARKING BLDG. | NO. OF BALCONIES ON 2nd. FL. | 1 | 50.00 | |
| | | | | ď | | NO. OF BALCONIES ON 3rd. FL. | 1 | 50.00 | |
| | | | | | TOTAL | B+E+F+G | | 2,500.00 | |



DESIGN & ENG.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

EEVISION:

10. DATE BY

- -

CCALE: DESIGN & DRAWN: FMI
DATE: 10.02.21
OB NUMBER:

CHEE

A-0.1

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES. COUNTY OF LOS ANGELES. STATE OF CALIFORNIA. AND IS DESCRIBED AS FOLLOWS:

LOT 2 AND 3, BLOCK 3, THE McCARTHY COMPANY'S GREATER LOS ANGELES TRACT, IN THE CITY OF LOS ANGELES, BOOK 9, PAGE 134 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER.

40'

40'

 \vdash

NG 149.1 NG 150,14 NG 148.71 NG 149.57 M F & BIL167.20 130.07 N89°46'01"E BIL167.11 CON 148,99 149,37 GARAGE 149.62 TW 149.44 149,34 HEIGHT 164,28 149,53 149.53 149.11 149.22 149.28 HEIGHT 162,12 149.29 EXISTING ONE STOREY EXISTING ONE HEIGHT 163,99 STOREY BUILFIRGT 163,76 EXISTING BUILDING ONE STOREY BUILDING ADJACENT 148,39 BUILDING

WM □ WATER METER

EM □ ELECTRIC METER

WH □ WATER HEATER

PP → POWER POLE

LEGEND

BOUNDARY LINE

12"

TREE

CONC. BLOCK WALL

BRICK WALL

SPOT FLEVATION

+ SPOT ELEVATION

SPB STREET LIGHT BOX

→ POWER POLE ANCHOR

CF CURB FACE

DWY DRIVEWAY

C/L CENTER LINE

STREET LIGHT

+ SPOT ELEVATION

IRON FENCE

CHAINLINK FENCE

WOOD FENCE

CONCRETE PATTERN

BRICK PATTERN

CONCRETE PATTERN

LEONARD YAGHOOBI 818-231-8475

PREPARED FOR:

TOPOGRAPHIC

NOTES:

1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA

2. MISC. DATA TOTAL PROPERTY AREA: 10405 SQ.FT.

BENCH MARK:

FD WIRE SPIKE IN E CURB MAIN ST 5FT N OF 65TH STREET. Bench Mark: 18-04650 ELEVATION=148.44'

| Revision/Issue | Date |
|----------------|------|

Firm Name and Address

MOLAI LAND & DESIGN
24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
818-325-9225
MOLAI22@YAHOO.COM

Project Name and Address

6510 SOUTH MAIN STREET LOS ANGELES, CA. 90003

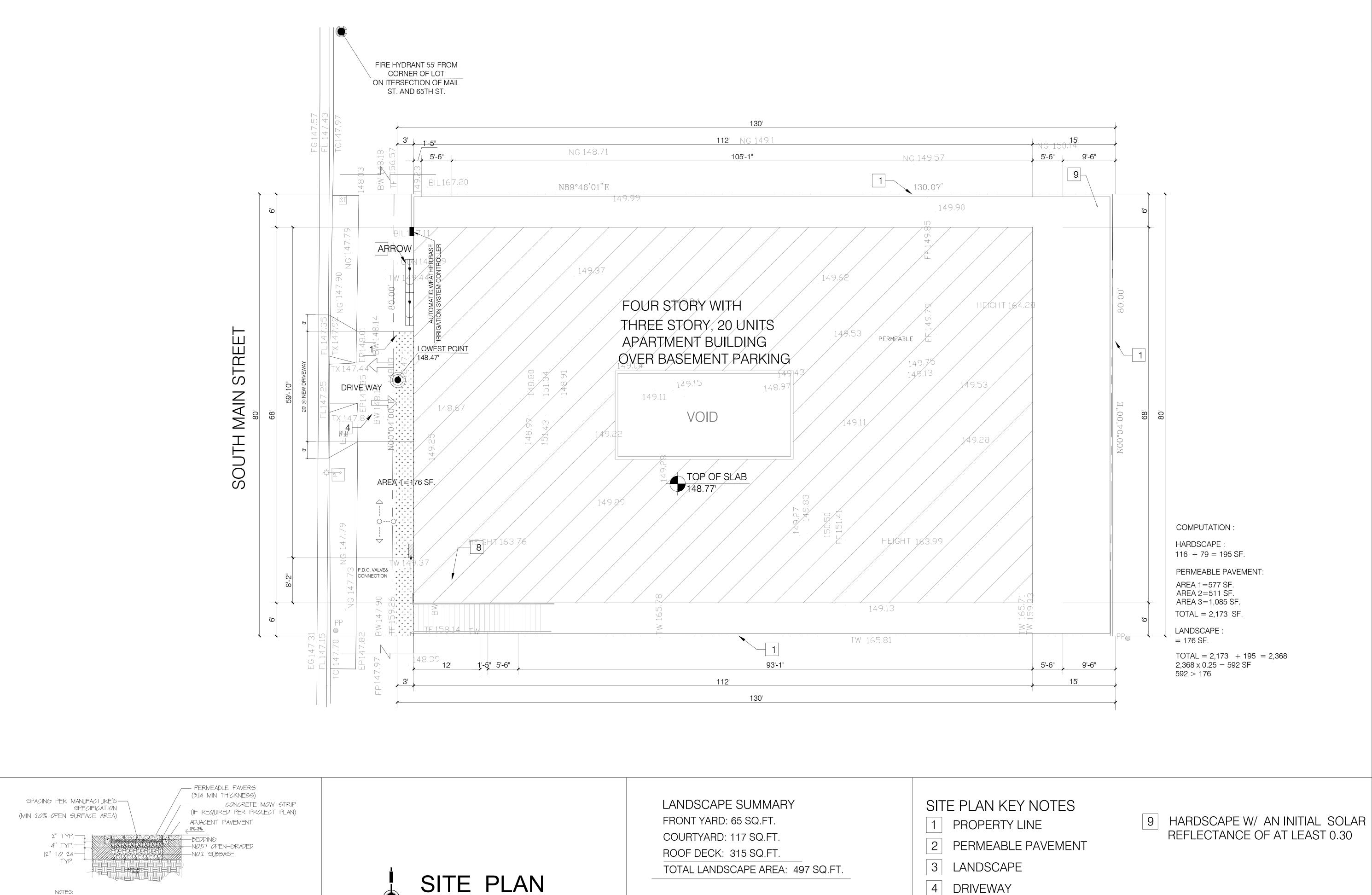
A-1.(

Project 3325

Date 03-31-2018 1 DF 1

Scale 1" = 10'

GRAPHIC SCALE: 1" = 10'



SCALE: 1/8"= 1'-0"

I- SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 05 INCHES PER HOUR). 2- INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT. TUNNEL EROSION, OR SLOPE STANLITY.

3- IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER INTO STORM DRAIN INLET OR CHSITE BMP. GEOTEXTILE SHALL BE REPLACED WITH IMPERMEABLE LINER AND UNDERDRAIN PREFERRED PIPE. 4- ANY OVERFLOW SHALL BE DISCHARGED PER BUREAU OF ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.

6- FLOW DIRECTED TO PERMEABLE PAVEMENT SHALL BE DISPERSED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT. 7- PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATION. IF REQUIRED, SUB-GRADE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.

5- SLOPE IS NOT GREATER THAN 3 PERCENT.

PERMEABLE PAVEMENT

DRIVEWAY

SIDEWALK

PATH OF TRAVEL

TRANSFORMER PAD

BICYCLE PARKING (SHORT-TERM)

DESIGN & ENG. CONSTRUCTION.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

CONSTRUCTION.

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

REVISION:

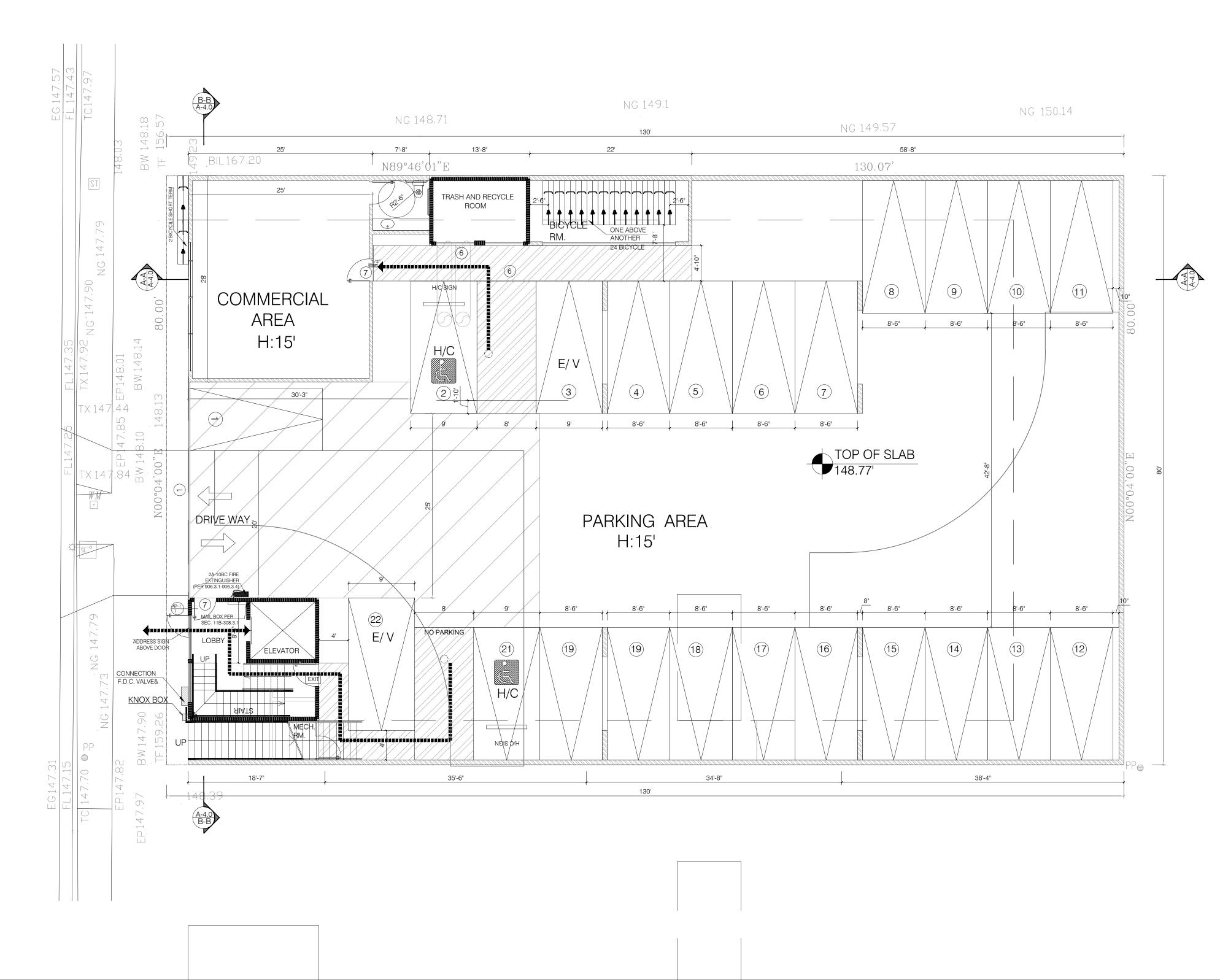
SITE PLAN

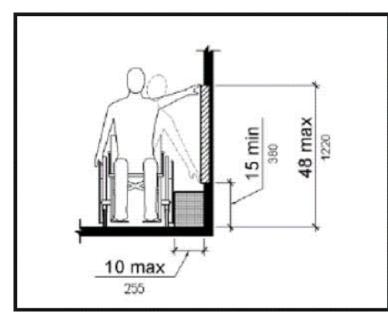
NO. DATE

SCALE: 1/8"=1'-0" FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER:

SHEET

A-1.1





UNOBSTRUCTED SIDE REACH MAILBOX DETAIL.

20 UNITS 22 STANDARD PARKING 24 LONG TERM BICYCLE PARKING 2 SHORT TERM BICYCLE PARKING

PERMEABLE PAVEMENT AREA: AREA 1=522 SF. AREA 2=840 SF. AREA 3=275 SF. AREA 4=73 SF. AREA 5=540 SF. TOTAL= 2,250 SF. LANDSCAPE AREA: AREA 1=179 SF. AREA 2=143 SF. AREA 4=136 SF. TOTAL= 771 SF. HARDSCAPE AREA HARDSCAPE = 127 + 123 = 250 SF. TOTAL = 2,250 SF. + 250 = 2,500 SF.

2,500 SF. x 0.25 = 625 SF. - REQD

TOTAL LANDSCAPE AREA PROVIDED = 771 SF.

DESIGN & ENG.

CONSTRUCTION.

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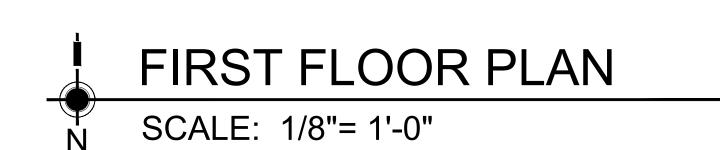
REVISION:

FIRST FLOOR PLAN

NO. DATE

1/8"=1'-0" FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER:

SHEET



FIRE EXTINGUISHERS

EV PARKING SUMMARY:

LESS THAN ONE). $20 \times 0.05 = 1$

PROPOSED: ONE PARING

GRN NOTES:

is required."

REQUIRED: 5% OF TOTAL NUMBER OF PARKINGS. (NOT

g. sufficient capacity to simultaneously charge all

h. circuit directory shall identify the overcurrent

Add note to plans: "The service panel or subpanel

minimum branch circuit. A separate electrical permit EVSE. Plan design shall be based upon a 40-ampere

11. Add note to plans: "A copy of the construction documents

or a comparable document indicating the information from

18. Add note to plans: "For projects that include landscape work, the Landscape Certification, Form GRN 12, shall

Energy Code Sections 110.10(b) through 110.10(c) shall

protective device space(s) reserved for future EV charging purposes as EV CAPABLE in accordance

be completed prior to final inspection approval."

with the Los Angeles Electrical Code."

be provided to the occupant." (Energy Code §110.10(d))

(State Assembly Bill No. 1881)

Add note to plans: "The electrical system shall have designated EV spaces at the full rated amperage of the

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

WHICHEVER IS GREATER. (1009.6.3)

- USABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STAIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL.

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.

- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT. OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE

DESIGNED TO COMPLY WITH THE FOLLOWING: 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

SECTION 1134A.4.

TYP. (1133A3)

2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5. 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.

4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7. 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF

10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR 11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.

12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. - EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE

CONTROLLED BY A HUMIDITY CONTROL.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

SECTION 1132.5.

GRN NOTES:

LEGEND

ONE HOUR RATED STC 50 (EXTERIOR WALL) ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) TWO HOUR RATED (SHAFT WALL) TWO HOUR RATED (CONCRETE BLOCK WALL) TWO HOUR RATED WALL PROPERTY LINE HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE

ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

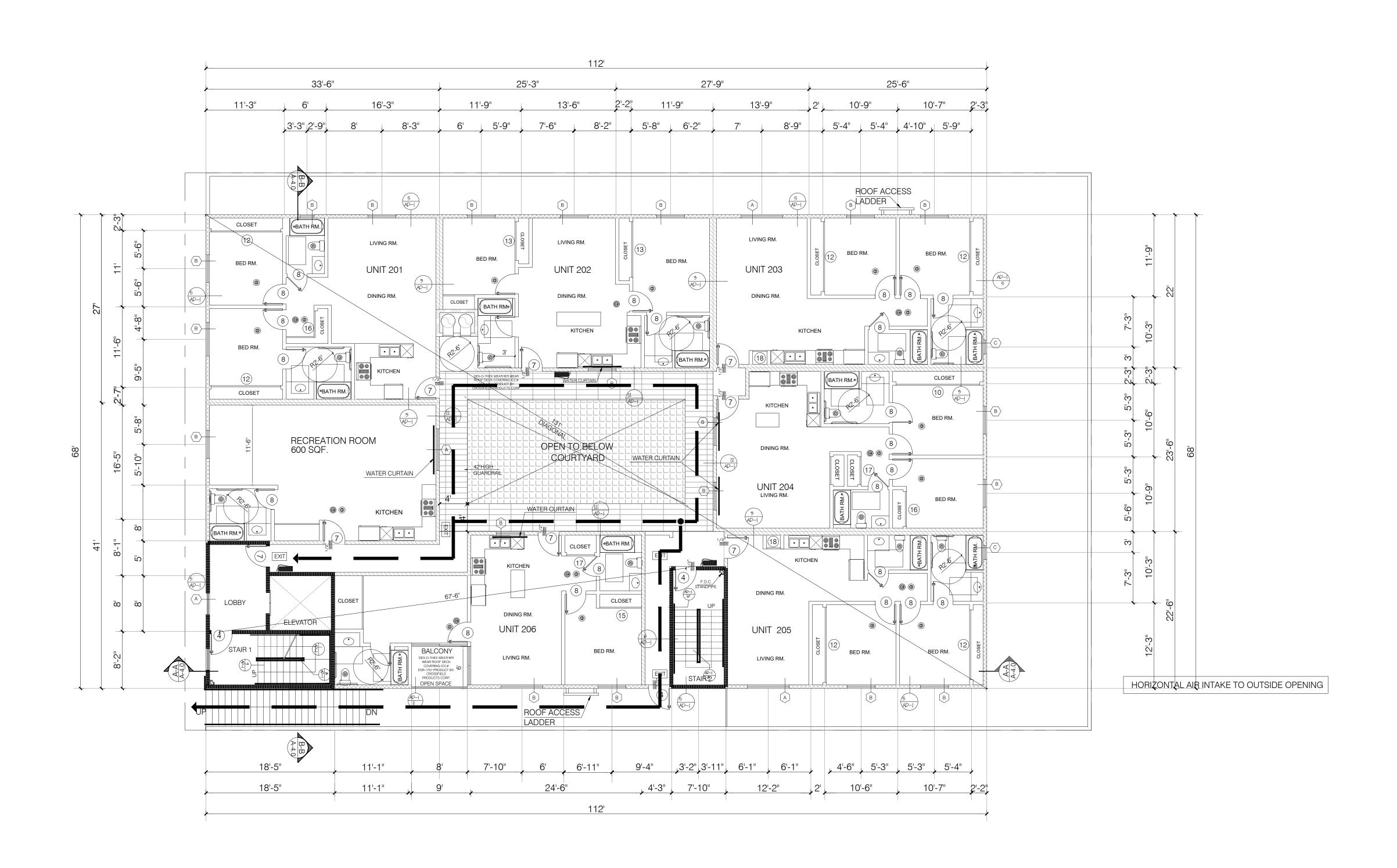
GROUND- FAULT CIRCUIT-INTERUPTER

TEMPERED GLASS

OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER

CARBON MONOXIDE DETECTOR

48"X30" CLEAR FLLOR SPACE





SECOND FLOOR PLAN

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

PROPOSED: 64'-0"

EXIT ACCESS - EXIT ACCESS DOORWAYS, STAIRWAYS OR RAMPS SHALL BE PLACED A DISTANCE APART> (1/2) THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA TO BE SERVED (CBC 1007.1.1) ALLOWABLE: 131' / 2 = 65.5'

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED

STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE

WHICHEVER IS GREATER. (1009.6.3) - BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA,

INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.

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3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.

4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7. 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND

THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.

10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR 11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A. 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION

1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. - EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND:

ONE HOUR RATED STC 50 (EXTERIOR WALL) ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) TWO HOUR RATED (SHAFT WALL) TWO HOUR RATED (CONCRETE BLOCK WALL)

TWO HOUR RATED WALL PROPERTY LINE

HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO

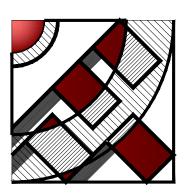
TERMINATE TO THE OUTSIDE OF THE BUILDING.

GROUND- FAULT CIRCUIT-INTERUPTER

TEMPERED GLASS OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO

ELBOWS FROM DRYER CARBON MONOXIDE DETECTOR

48"X30" CLEAR FLLOR SPACE



DESIGN & ENG. CONSTRUCTION.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

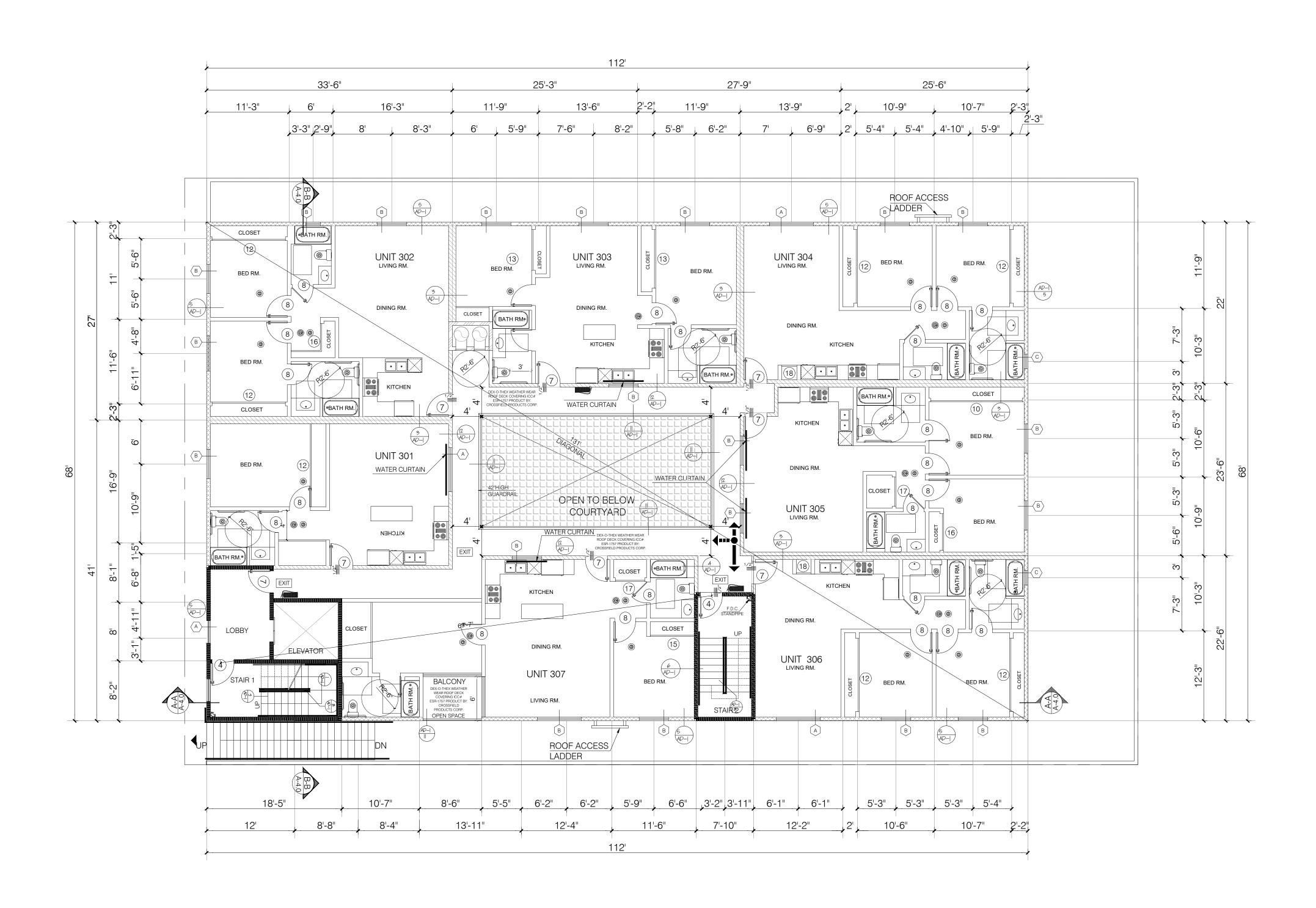
6506-6510 S MAIN ST. LOS ANGELES. CA 90003

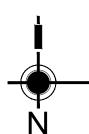
SHEET TITLE:

SECOND FLOOR PLAN

REVISION: NO. DATE 1/8"=1'-0"

FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER:





THIRD FLOOR PLAN

EXIT ACCESS

PROPOSED: 64'-0"

- EXIT ACCESS DOORWAYS, STAIRWAYS OR

THE AREA TO BE SERVED (CBC 1007.1.1)

ALLOWABLE: 131' / 2 = 65.5'

RAMPS SHALL BE PLACED A DISTANCE APART>

(1/2) THE LENGTH OF THE OVERALL DIAGONAL OF

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED

CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

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NOTES:

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GRN NOTES:

ITEM 4.

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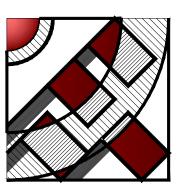
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PROPERTY LINE

48"X30" CLEAR FLLOR SPACE



DESIGN & ENG. CONSTRUCTION.

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OWNER:

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4615 WINNETKA CIR, WOODLAND HILLS CA 91364

PROJECT:

6506-6510 S MAIN ST. LOS ANGELES. CA 90003

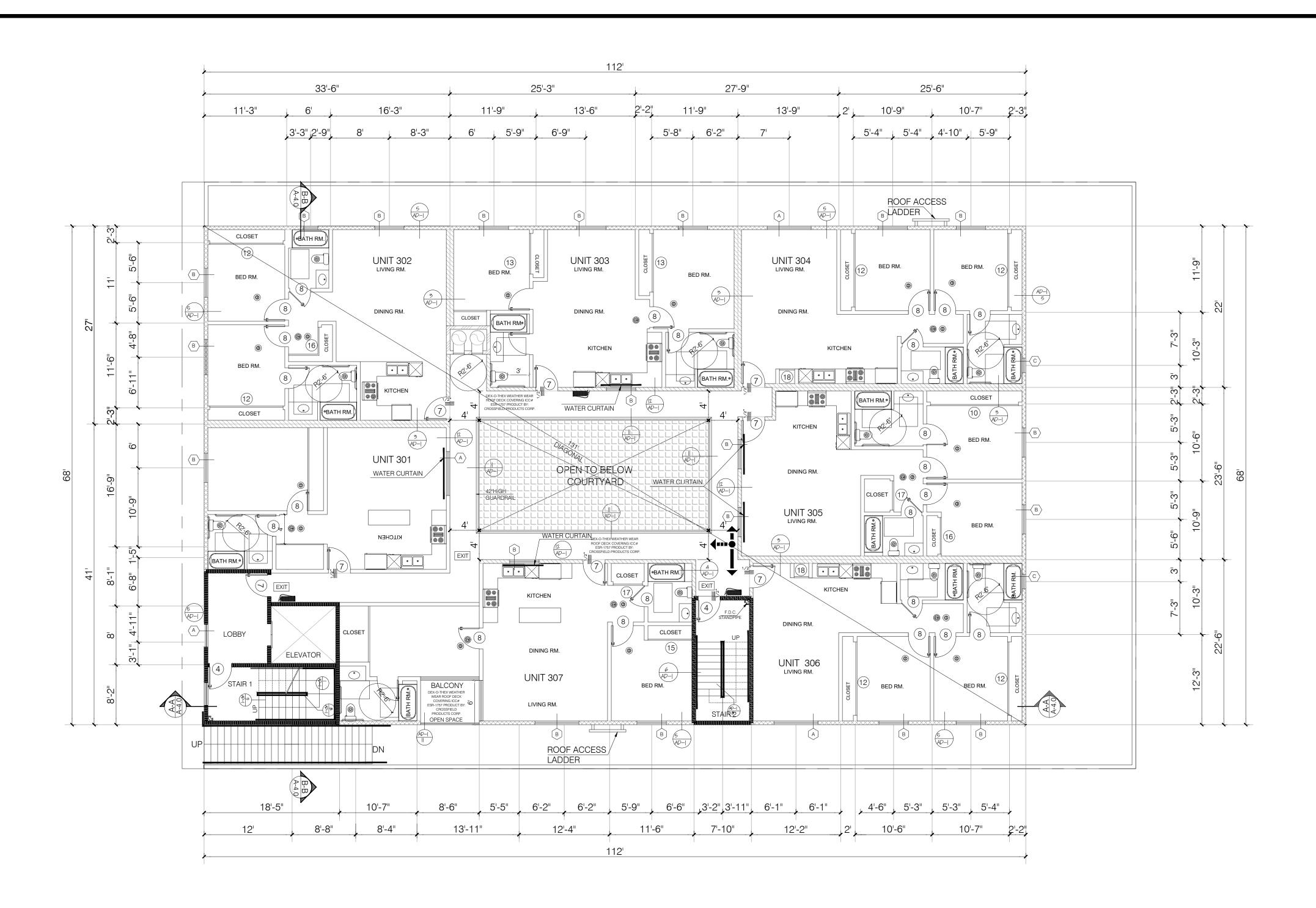
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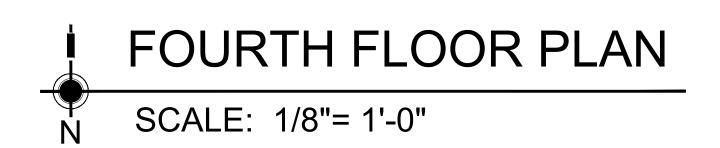
REVISION:

THIRD FLOOR PLAN

NO. DATE 1/8"=1'-0"

FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER:





EXIT ACCESS

PROPOSED: 64'-0"

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ALLOWABLE: 131' / 2 = 65.5'

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(1/2) THE LENGTH OF THE OVERALL DIAGONAL OF

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CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH

THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.

- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT. OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE

DESIGNED TO COMPLY WITH THE FOLLOWING: 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

SECTION 1134A.4.

2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.

3. SHOWER SHALL COMPLY WITH SECTION 1134A.6. 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.

5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT

LEAST ONE SHALL BE MADE ACCESSIBLE. 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR

SECTION 1132.5. 10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A. 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. - EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND:

ONE HOUR RATED STC 50 (EXTERIOR WALL) ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) TWO HOUR RATED (SHAFT WALL) TWO HOUR RATED (CONCRETE BLOCK WALL) TWO HOUR RATED WALL PROPERTY LINE

HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO

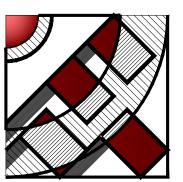
TERMINATE TO THE OUTSIDE OF THE BUILDING.

GROUND- FAULT CIRCUIT-INTERUPTER

TEMPERED GLASS OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER

CARBON MONOXIDE DETECTOR

48"X30" CLEAR FLLOR SPACE



DESIGN & ENG. CONSTRUCTION.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS CA 91364

PROJECT:

6506-6510 S MAIN ST. LOS ANGELES. CA 90003

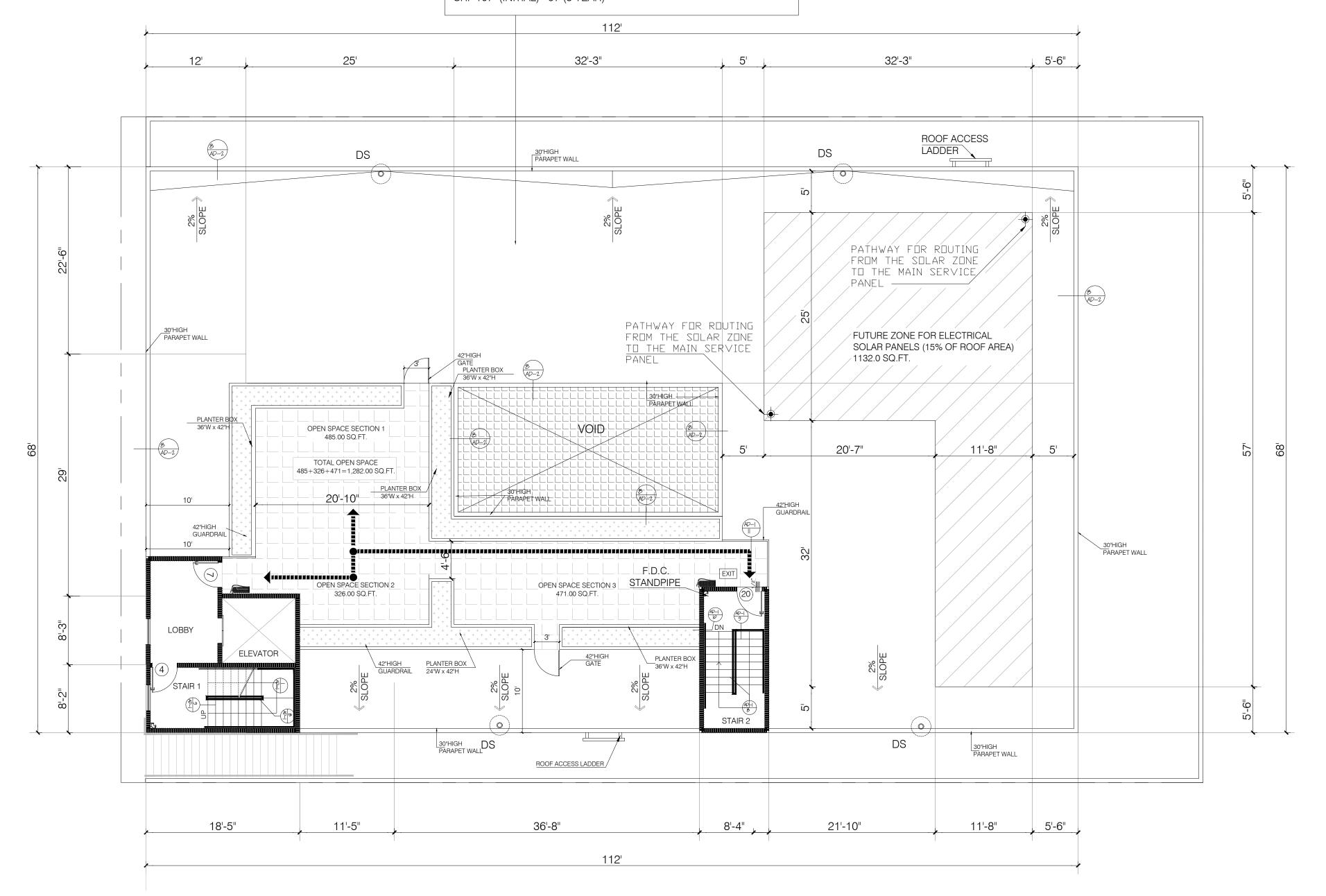
SHEET TITLE:

FOURTH FLOOR PLAN

REVISION: NO. DATE 1/8"=1'-0"

FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER:

CLASS "A" ROOFING CRRC PROD. ID 0790-0001 MANUFACTURER: PRO-TECH PRODUCTS, INC. BRAND AND MODEL: 100% ACRYLIC ROOF COATING EC-100 WHITE PRODUCT TYPE: ASPHALTIC MEMBRANE SOLAR REFLECTANCE: 0.86 (INITIAL) 0.78 3 YEAR) THERMAL EMITTANCE 0.86 (INITIAL) 0.90 (3 YEAR) SRI 107 (INITIAL) 97 (3 YEAR)



DESIGN & ENG. CONSTRUCTION.

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WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

19730 VENTURA BLVD. #5

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

ROOF PLAN

REVISION: NO. DATE

1/8"=1'-0" DESIGN & DRAWN: FMI 10.02.21

JOB NUMBER:

FUTURE SOLAR ZONE CALCULATION:

TOTAL ROOF AREA: 7,544.0 SQ.FT. TOTAL REQUIRED AREA: 15% OF ROOF AREA 8.150.00 X 15% = 1,131.6 SQ.FT. TOTAL PROVIDED AREA: 1,132.00 SQ,FT.

NOTE:

ROOF PLAN

SCALE: 1/8"= 1'-0"

"A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT."

- FOR ROOF SLOPES < 2:12: 3-YEAR AGED SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75

NOTE:

CLASS "A" FLAT ROOFING < 2:12 ICC-ESR 1597 FROM GAF MATERIAL CORPORATION TO MEETS SECTION 4.106.5

FOR ROOF 2:12" SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL RMITTANCE OF AT LEAST 0.75.

THE CONDUIT FOR THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED AS PER THE LOS ANGELES FIRE DEPARTMENT. (4.211.4.1)

SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF THE LAPC. (1503.4)

ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC

THE SOLAR ZONE SHALL BE FREE OF CBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION. INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT. LEGEND:

ONE HOUR RATED STC 50 (EXTERIOR WALL) ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) TWO HOUR RATED (SHAFT WALL) TWO HOUR RATED (CONCRETE BLOCK WALL) TWO HOUR RATED WALL

PROPERTY LINE HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE

ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. GROUND- FAULT CIRCUIT-INTERUPTER

TEMPERED GLASS

OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER

CARBON MONOXIDE DETECTOR

48"X30" CLEAR FLLOR SPACE

PROPERTY.

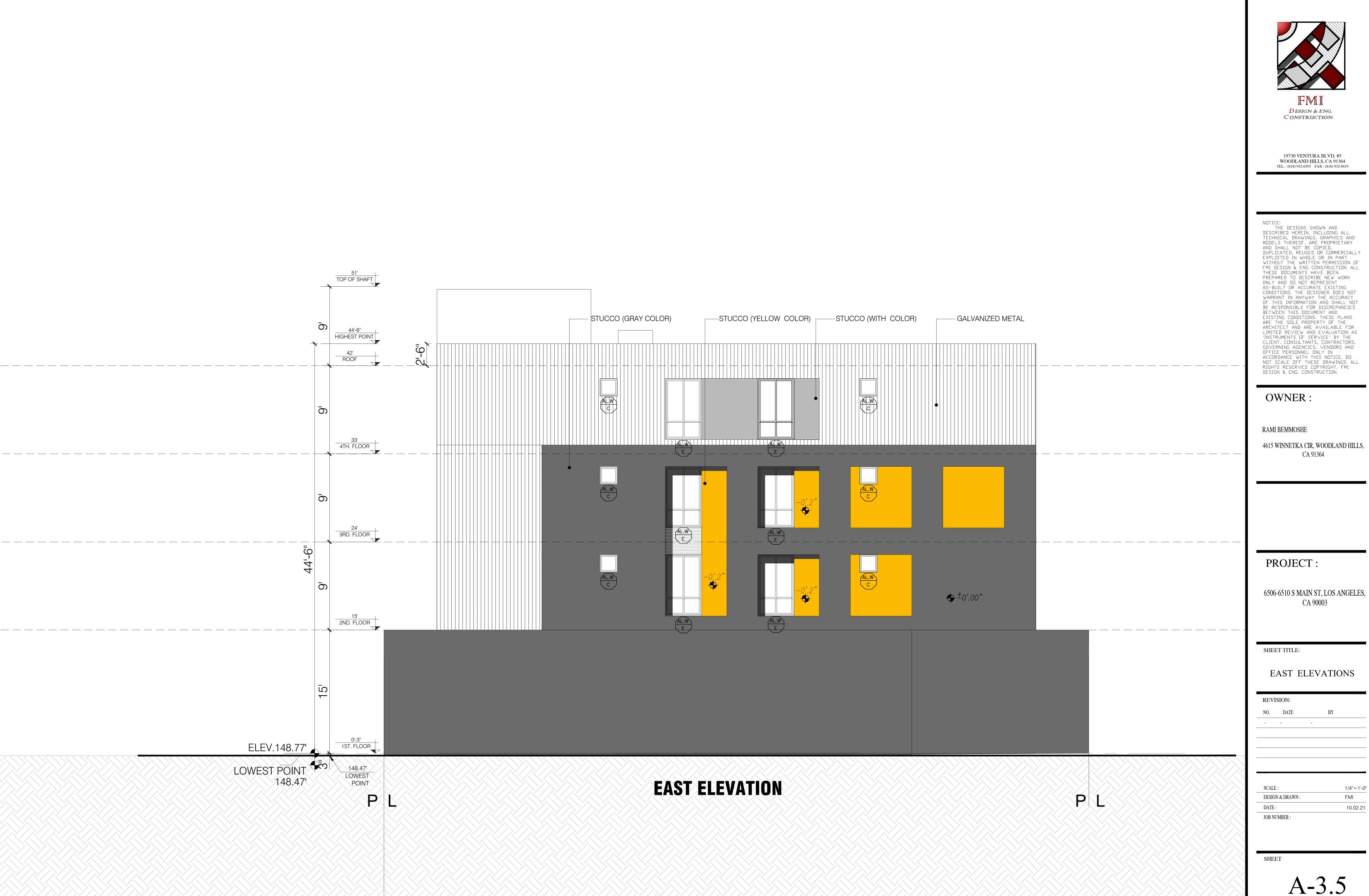


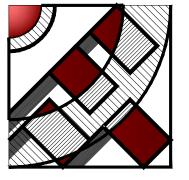


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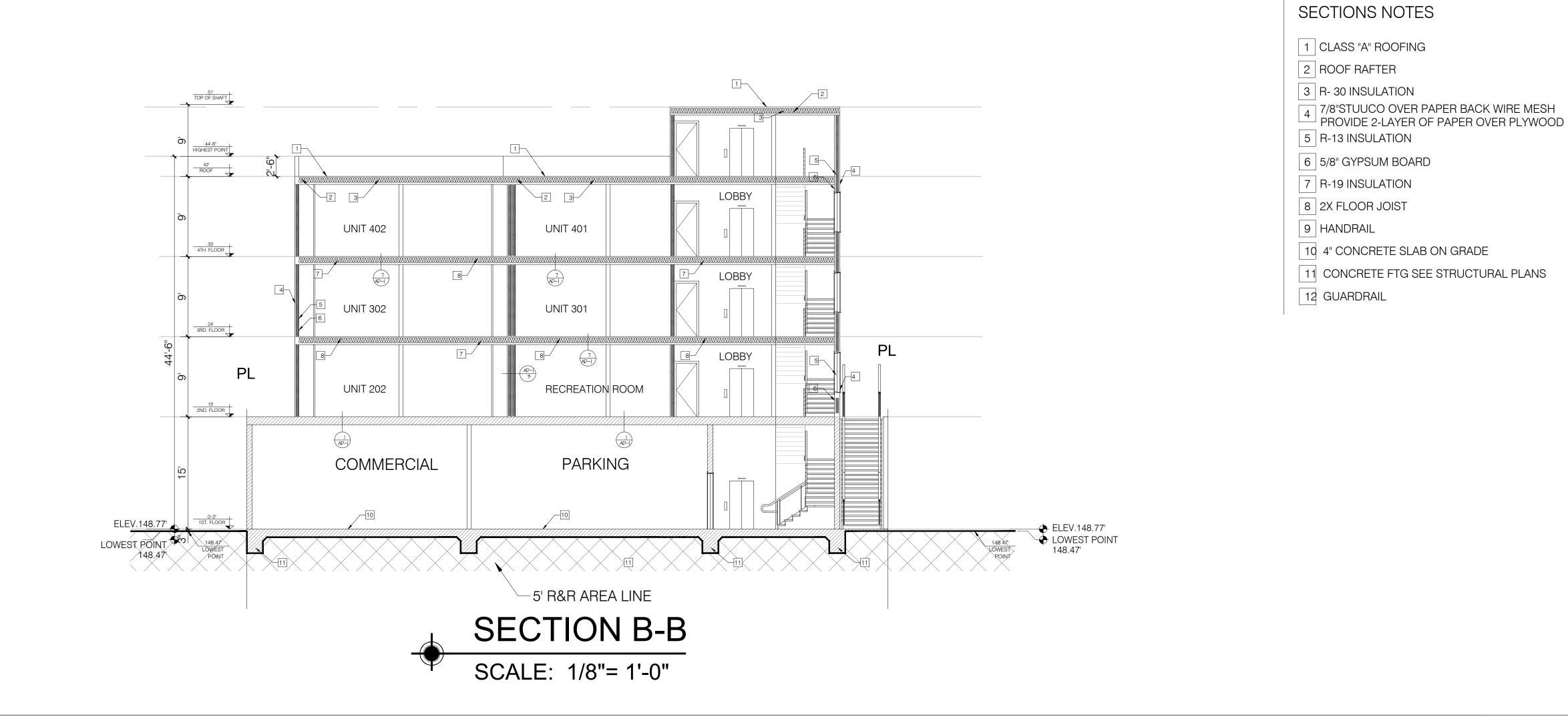
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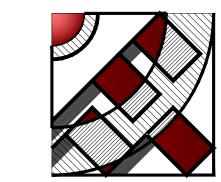






FMI 10.02.21





DESIGN & ENG. CONSTRUCTION.

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

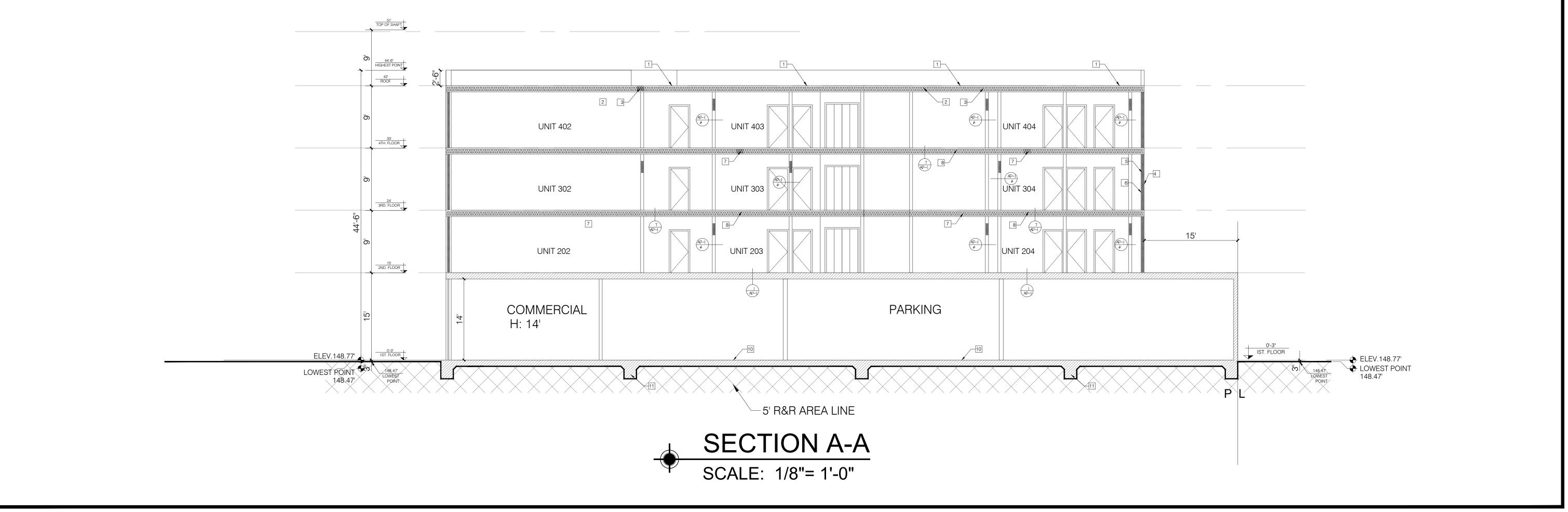
6506-6510 S MAIN ST, LOS ANGELES, CA 90003

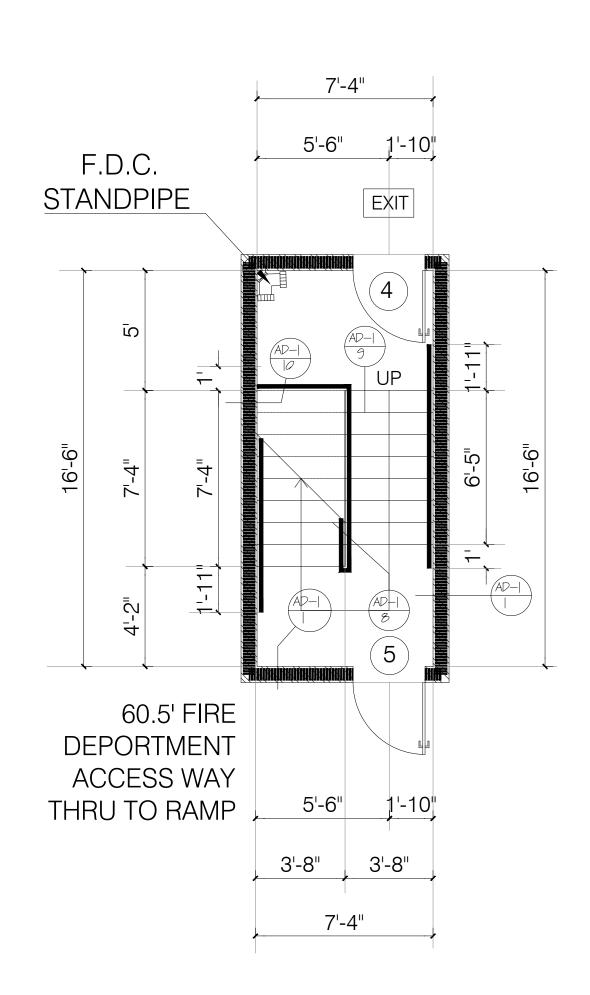
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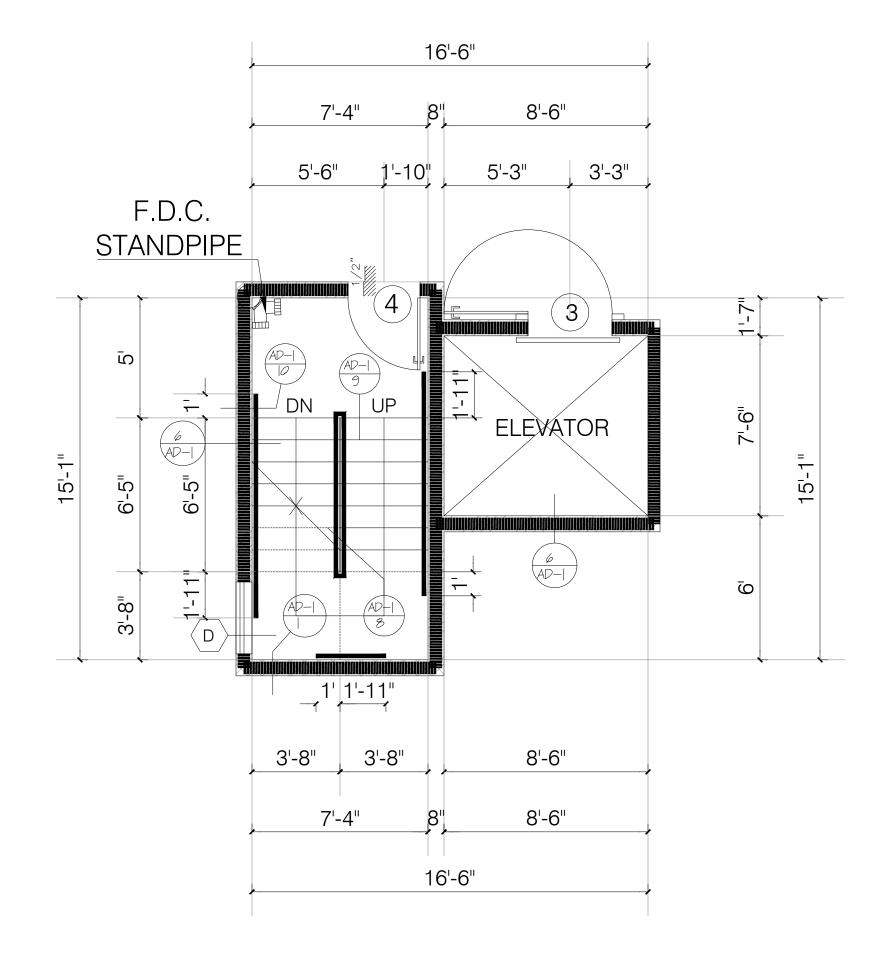
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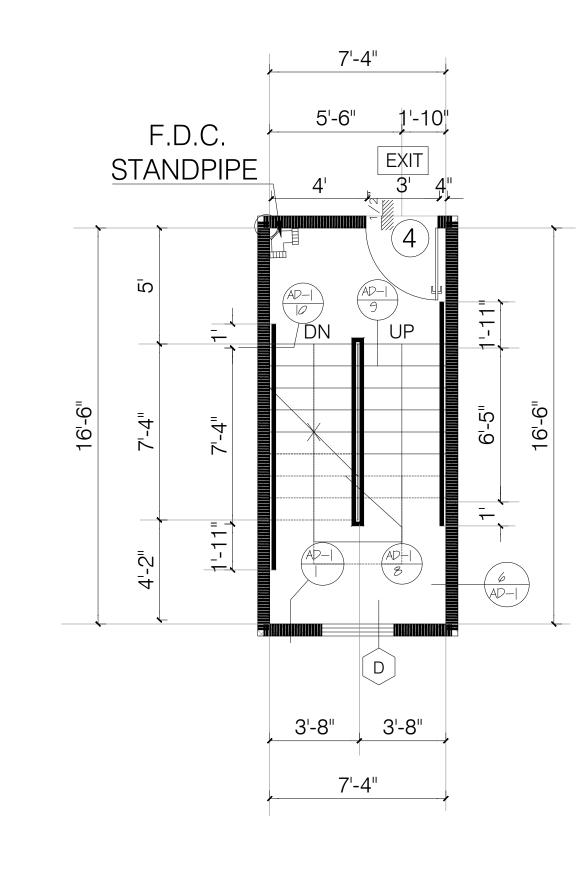
REVISION: NO. DATE

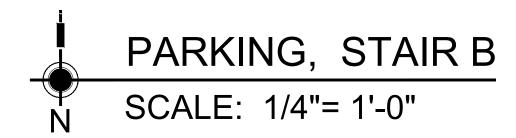
1/8"=1'-0" FMI DESIGN & DRAWN: 10.02.21 JOB NUMBER :



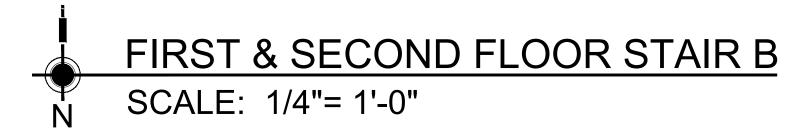








FIRST, SECOND & THIRD FLOOR STAIR A
SCALE: 1/4"= 1'-0"



1123A.5 Striping for the Visually Impaired. The upper approach and the lower tread of each stair along routes required to be accessible, shall be marked by a strip of clearly contrasting color at least a minimum of 2 inches (50.8 mm) wide to a maximum of 4 inches (101.6 mm) wide placed parallel to, and not more than 1 inch (25.4mm) from, the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable.

W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD
(if conter is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED

STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.

3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT

LEAST ONE SHALL BE MADE ACCESSIBLE.

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER
CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.

- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE

TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

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LEGEND

WALL
ONE HOUR RATED STC 50 (EXTERIOR WALL)
ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)

TWO HOUR RATED (SHAFT WALL)

TWO HOUR RATED (CONCRETE BLOCK WALL)

TWO HOUR RATED WALL

TWO HOUR RATED WALL

PROPERTY LINE

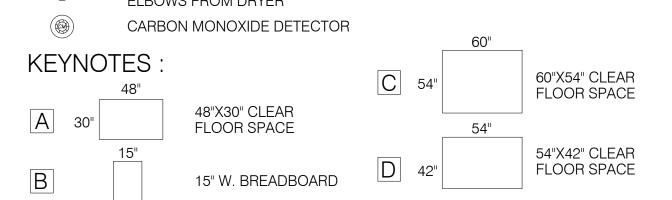
HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP

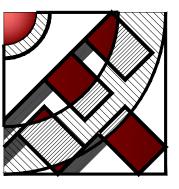
MECHANICAL VENT, 7 1/2 AIR CHANGE PER
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GROUND- FAULT CIRCUIT-INTERUPTER

* TEMPERED GLASS

4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER





FMI Design & eng. Construction.

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OWNER:

CONSTRUCTION.

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

STAIRCASE

REVISION:

NO. DATE BY

- - -
SCALE: 1/4"=1'-0"

DESIGN & DRAWN: FMI

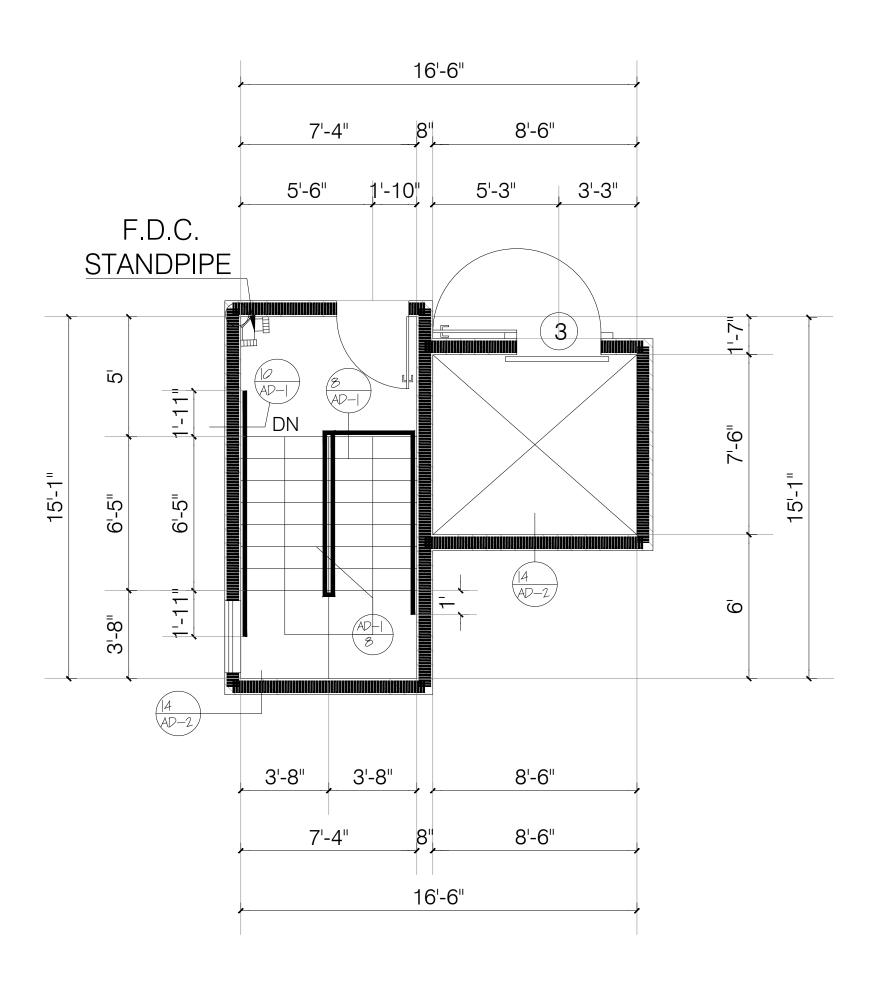
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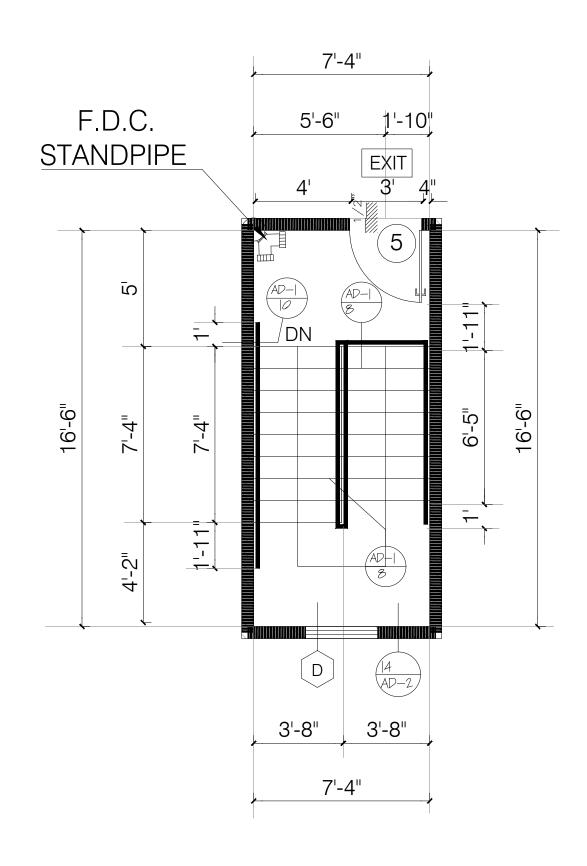
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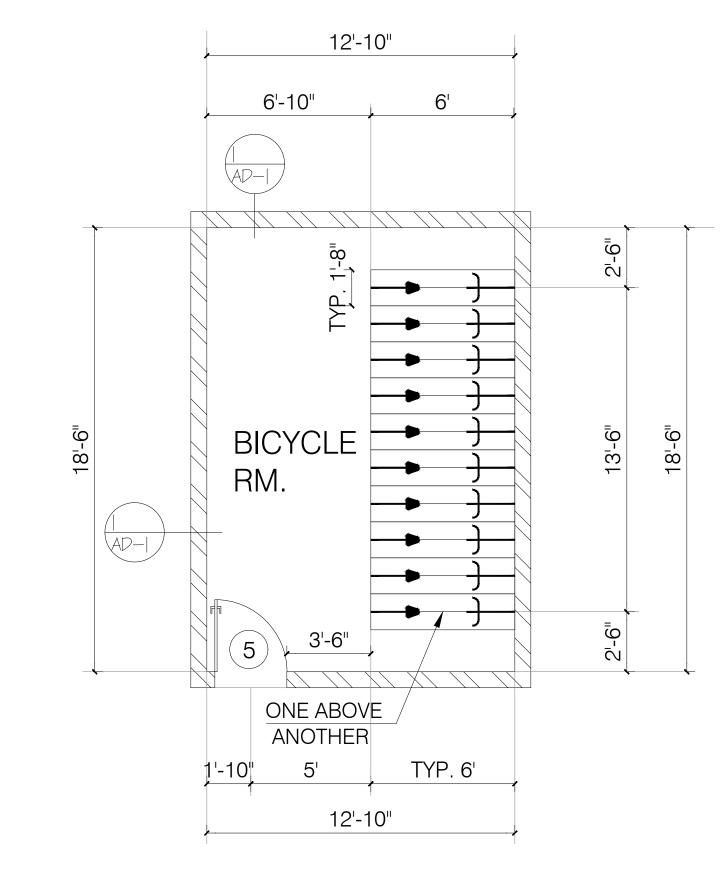
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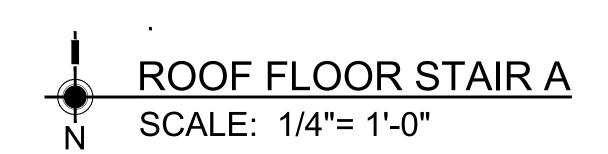
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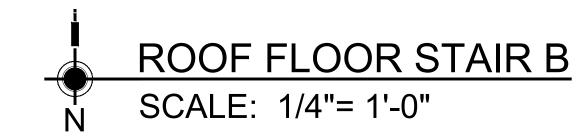
SHEE













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NOTES:

WITH SECTION 1134A.8.

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CODE SECTION 12.21A5, CHART NO. 5."

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GRN NOTES:

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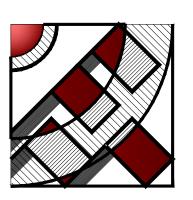
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BICYCLE RM.

SCALE: 1/4"= 1'-0"

| LEGEND |) ; | | |
|-----------------------------|---|-----------------------|----------------------|
| | WALL | | |
| | ONE HOUR RATED STC 50 | , | |
| 7////// | ONE HOUR RATED STC 50 | ` | N WALLS) |
| | TWO HOUR RATED (SHAFT | WALL) | |
| 7///// | TWO HOUR RATED (CONC | RETE BLOCK WALL) | |
| | TWO HOUR RATED WALL | | |
| | PROPERTY LINE | | |
| | HARD WIRED SMOKE DETECTO | , | |
| | MECHANICAL VENT, 7 1/2 AIR C | | AT AND DE |
| | HOUR, SHALL BE ENERGY STAF DUCTED TO TERMINATE TO TH | | |
| \Rightarrow | GROUND- FAULT CIRCUIT-INTE | RUPTER | |
| * | TEMPERED GLASS | | |
| \bigotimes | 4" MIN. METAL DRYER VENT, DII ELBOWS FROM DRYER | RECTLY TO OUTSIDE MAX | IMUM 14' LENGTH W/TW |
| | CARBON MONOXIDE DETECTO | | |
| \(\(\mathbb{C}\)\(\lambda\) | | 60" | 1 |
| KEYNOT | ES: | | 60"X54" CLEAR |
| | 48" | <u>C</u> 54" | FLOOR SPACE |
| A 30" | 48"X30" CLEAR FLOOR SPACE | 54" | J |
| _ | 15" | | 54"X42" CLEAR |
| В | 15" W. BREADBOARD | D 42" | FLOOR SPACE |
| | | | |



DESIGN & ENG. CONSTRUCTION.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

CONSTRUCTION.

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

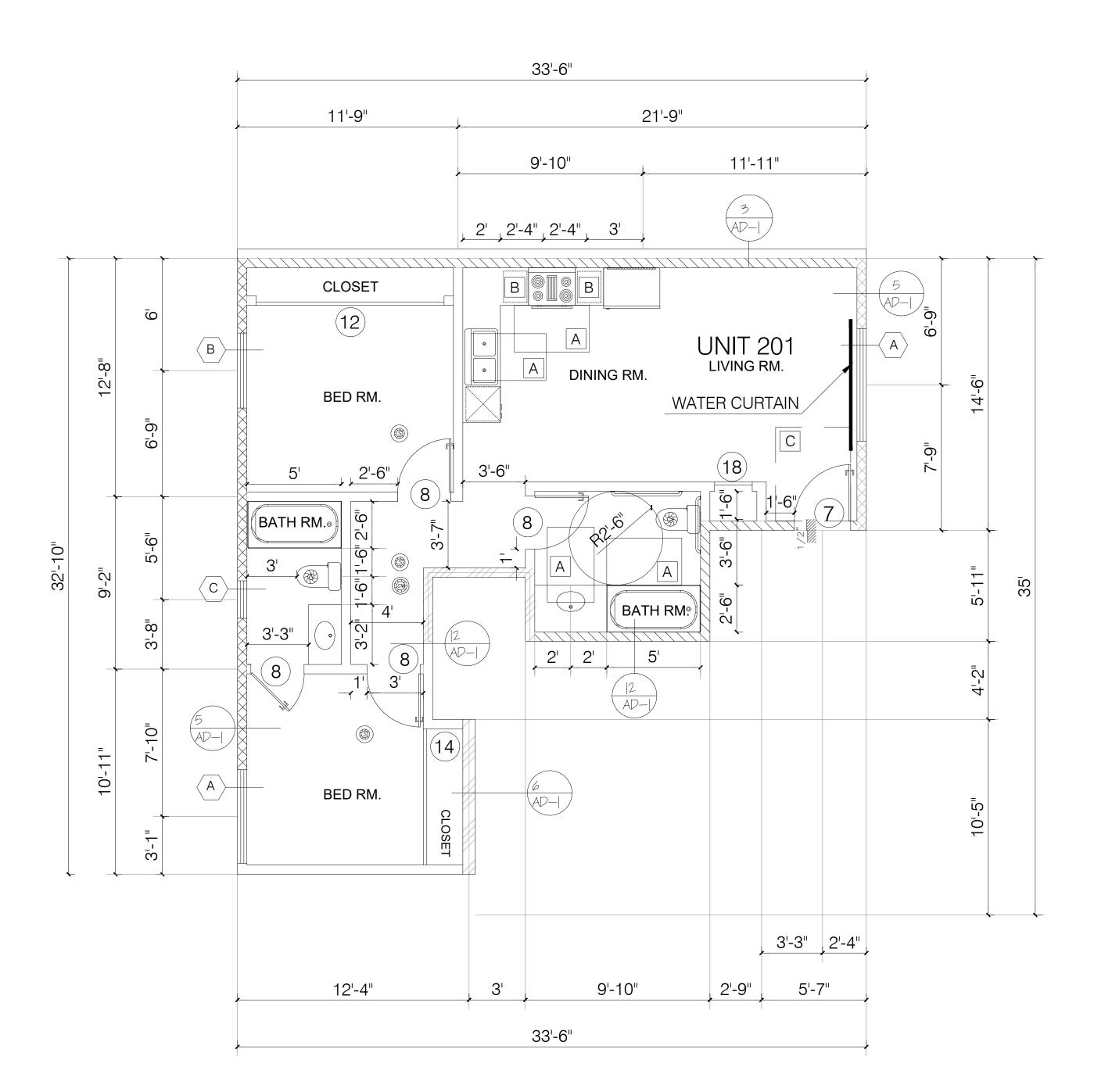
6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

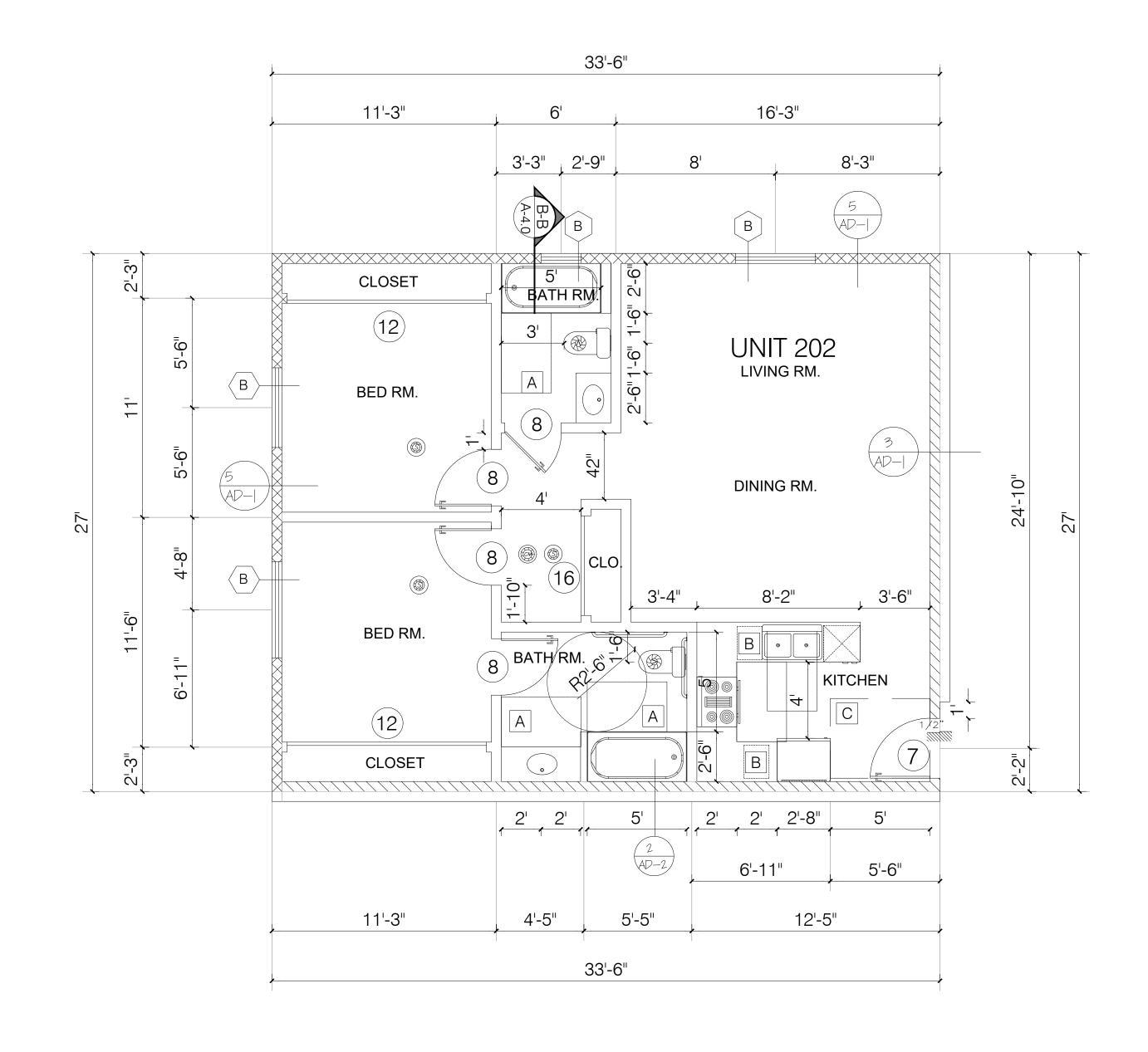
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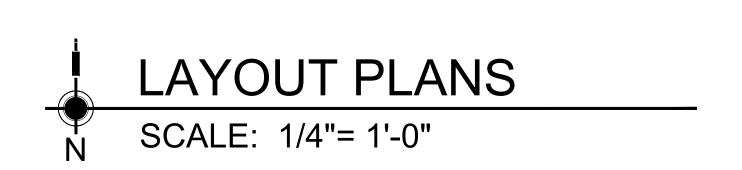
JOB NUMBER:



TYPICAL UNIT FLOOR PLAN 201,401



TYPICAL UNIT FLOOR PLAN 202,302,402



W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD
(if conter is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.

BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.

WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE BOLITE INTO AND

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.

10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR 11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A. 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION

12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.

- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE

TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

| | WALL |
|---------|---|
| | ONE HOUR RATED STC 50 (EXTERIOR WALL) |
| 7////// | ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) |
| | TWO HOUR BATED (SHAFT WALL) |

TWO HOUR RATED (SHAFT WALL)

TWO HOUR RATED (CONCRETE BLOCK WALL)

PROPERTY LINE

(S) HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP

MECHANICAL VENT, 7 1/2 AIR CHANGE PER
HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE
DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

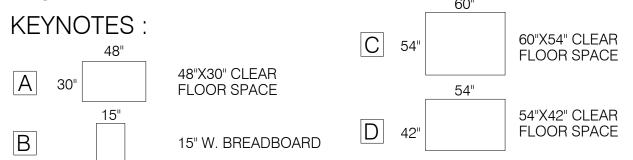
GROUND- FAULT CIRCUIT-INTERUPTER

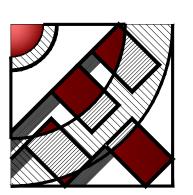
* TEMPERED GLASS

4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO

ELBOWS FROM DRYER

CARBON MONOXIDE DETECTOR





FMII
DESIGN & ENG.
CONSTRUCTION.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

CONSTRUCTION.

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

UNITS PLAN

REVISION:

NO. DATE BY

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SCALE: 1/4"=1'-0"

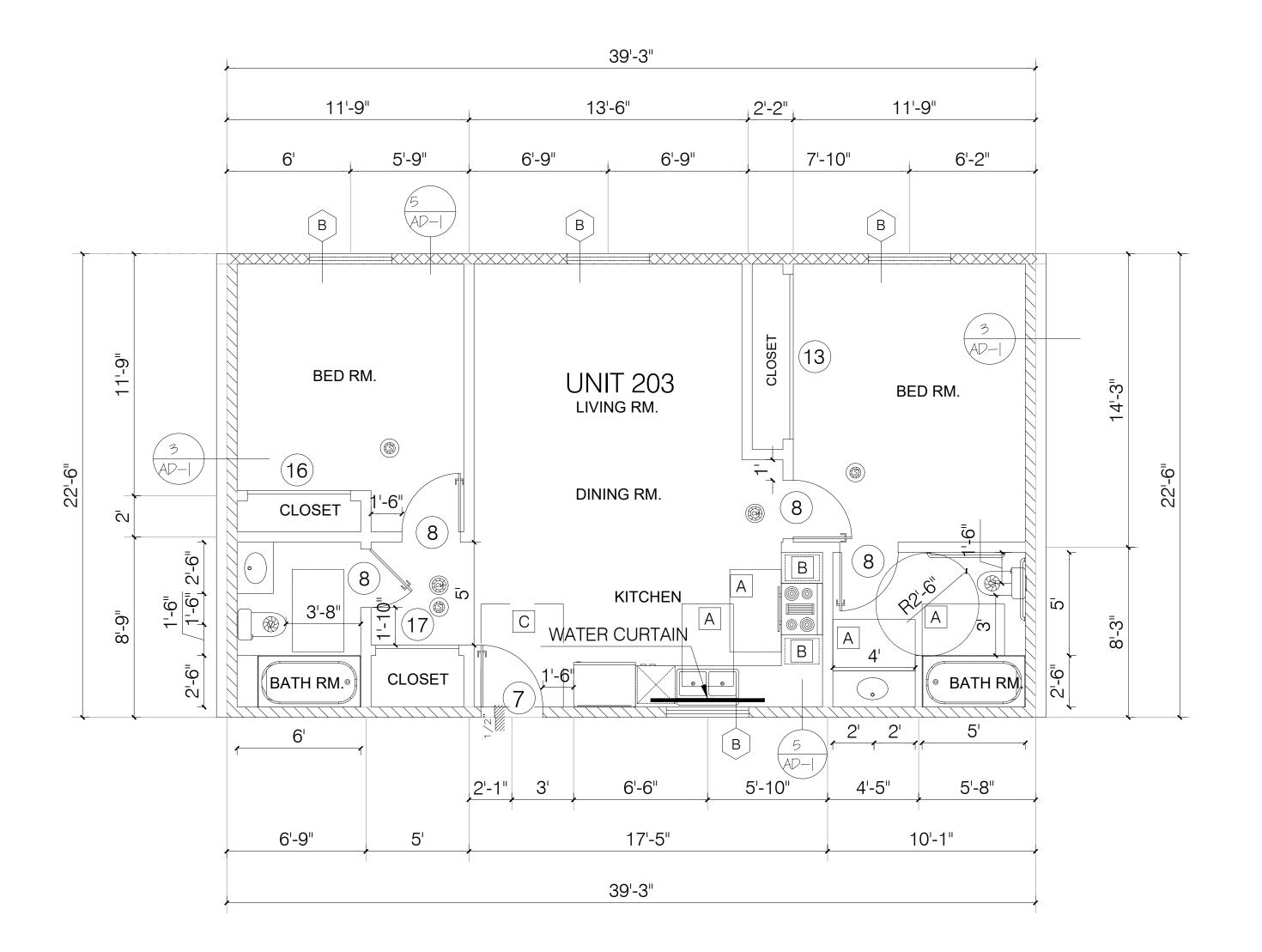
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 FMI

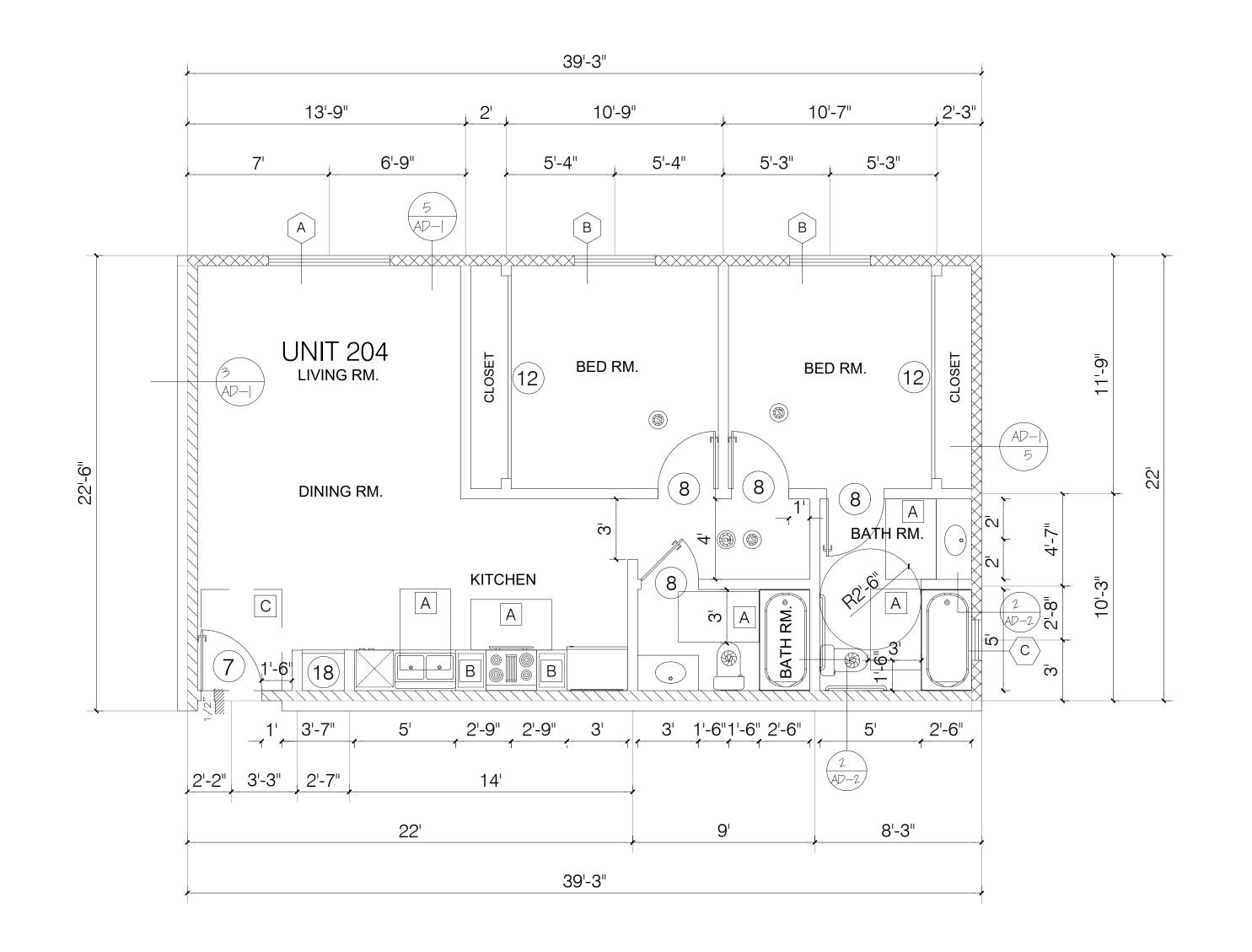
 DATE:
 10.02.21

 JOB NUMBER:

CHEET



TYPICAL UNIT FLOOR PLAN 203,303,403



TYPICAL UNIT FLOOR PLAN 204,304,404



W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD
(if conter is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- BATHROOM VANITIES COUNTER SHALL BE 34" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.

3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.

4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER
CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.

10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

FGEND ·

| LEGEND | |
|---------------|--|
| | WALL |
| | ONE HOUR RATED STC 50 (EXTERIOR WALL) |
| | ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) |
| | TWO HOUR RATED (SHAFT WALL) |
| 7//// | TWO HOUR RATED (CONCRETE BLOCK WALL) |
| | PROPERTY LINE |
| | HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP |
| | MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. |
| \Rightarrow | GROUND- FAULT CIRCUIT-INTERUPTER |
| * | TEMPERED GLASS |
| \otimes | 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER |
| | CARBON MONOXIDE DETECTOR |
| KEYNOT | ES: |

48"X30" CLEAR

FLOOR SPACE

15" W. BREADBOARD

FMI Design & eng. Construction.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

RAMI BEMMOSHE

CONSTRUCTION.

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

UNITS PLAN

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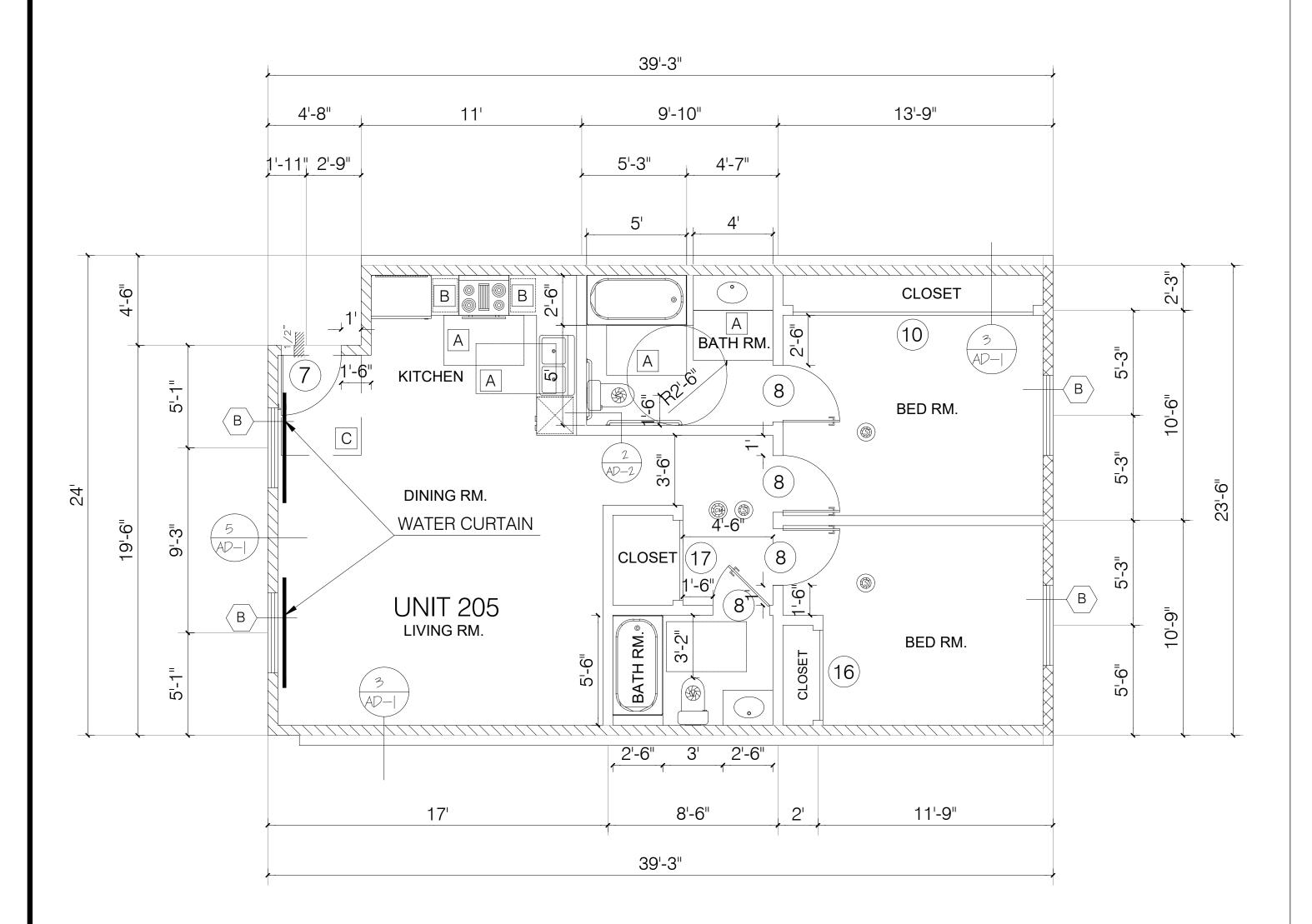
60"X54" CLEAR

FLOOR SPACE

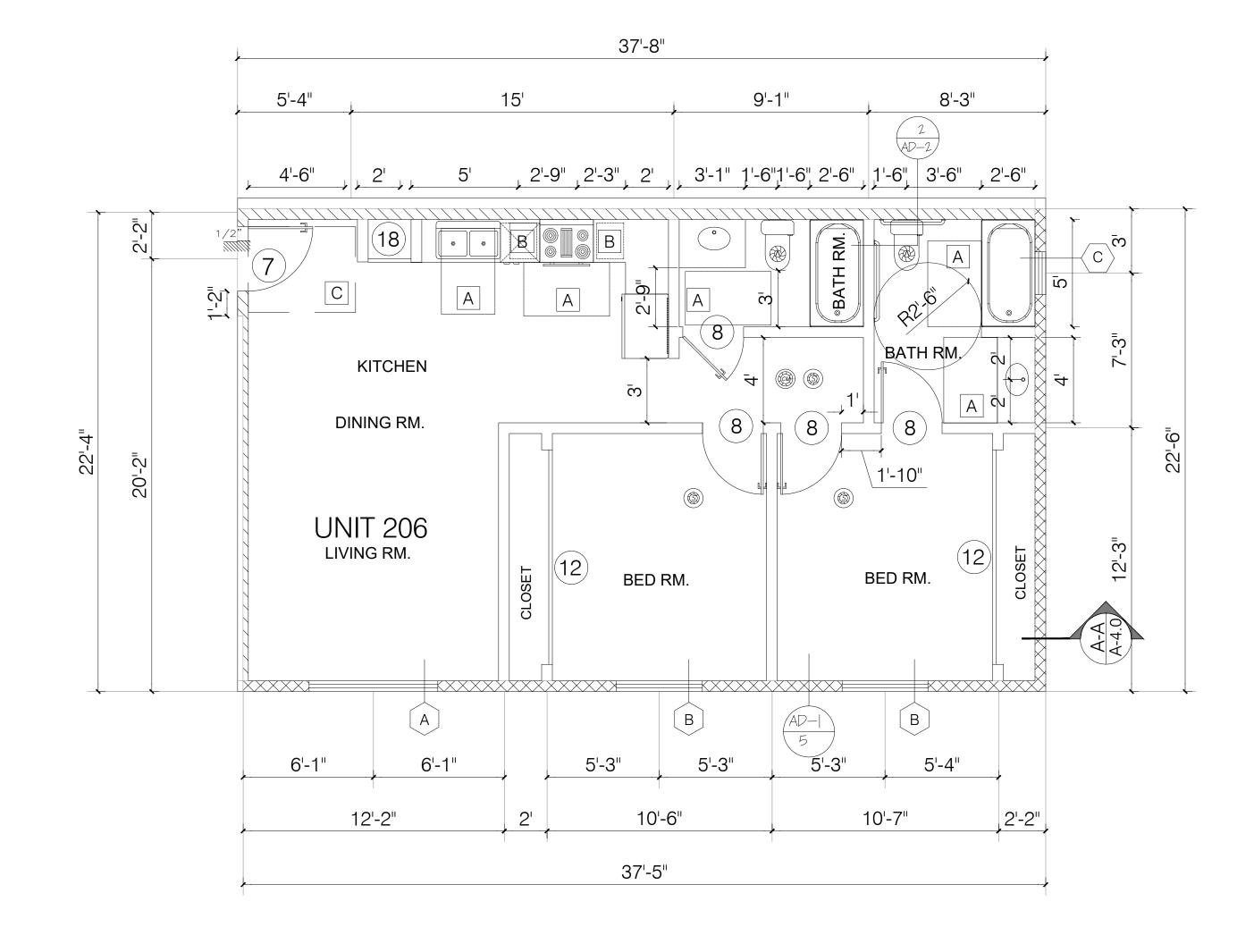
54"X42" CLEAR

FLOOR SPACE

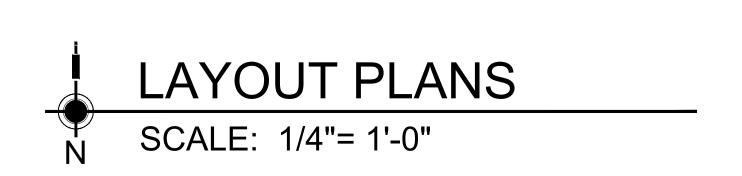
JOB NUMBER:



TYPICAL UNIT FLOOR PLAN 205,305,405



TYPICAL UNIT FLOOR PLAN 206,306,406



W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD
(if conter is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

TYP. (1133A3)

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL.

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.

2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.

SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER

CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.
- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE

TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A
COMPONENT OF A WHOLE HOUSE
VENTILATION SYSTEM, MUST BE

CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

| WALL |
|--|
| ONE HOUR RATED STC 50 (EXTERIOR WALL) |
| ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WAL |
| TWO HOUR RATED (SHAFT WALL) |
| TWO HOUR RATED (CONCRETE BLOCK WALL) |
| |

PROPERTY LINE

MECHANICAL VENT, 7 1/2 AIR CHANGE PER
HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE

DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

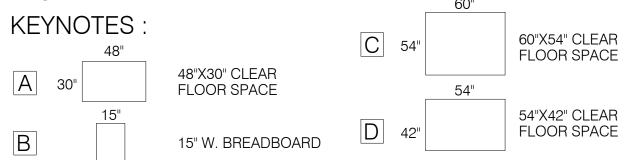
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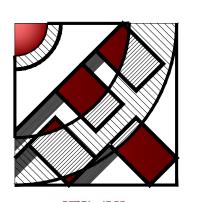
TEMPERED GLASS

4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO

ELBOWS FROM DRYER

CARBON MONOXIDE DETECTOR





Design & eng. Construction.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

NOTICE:
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HEREIN, INCLUDING ALL TECHNICAL DRAWING
GRAPHICS AND MODELS THEREOF ARE

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

UNITS PLAN

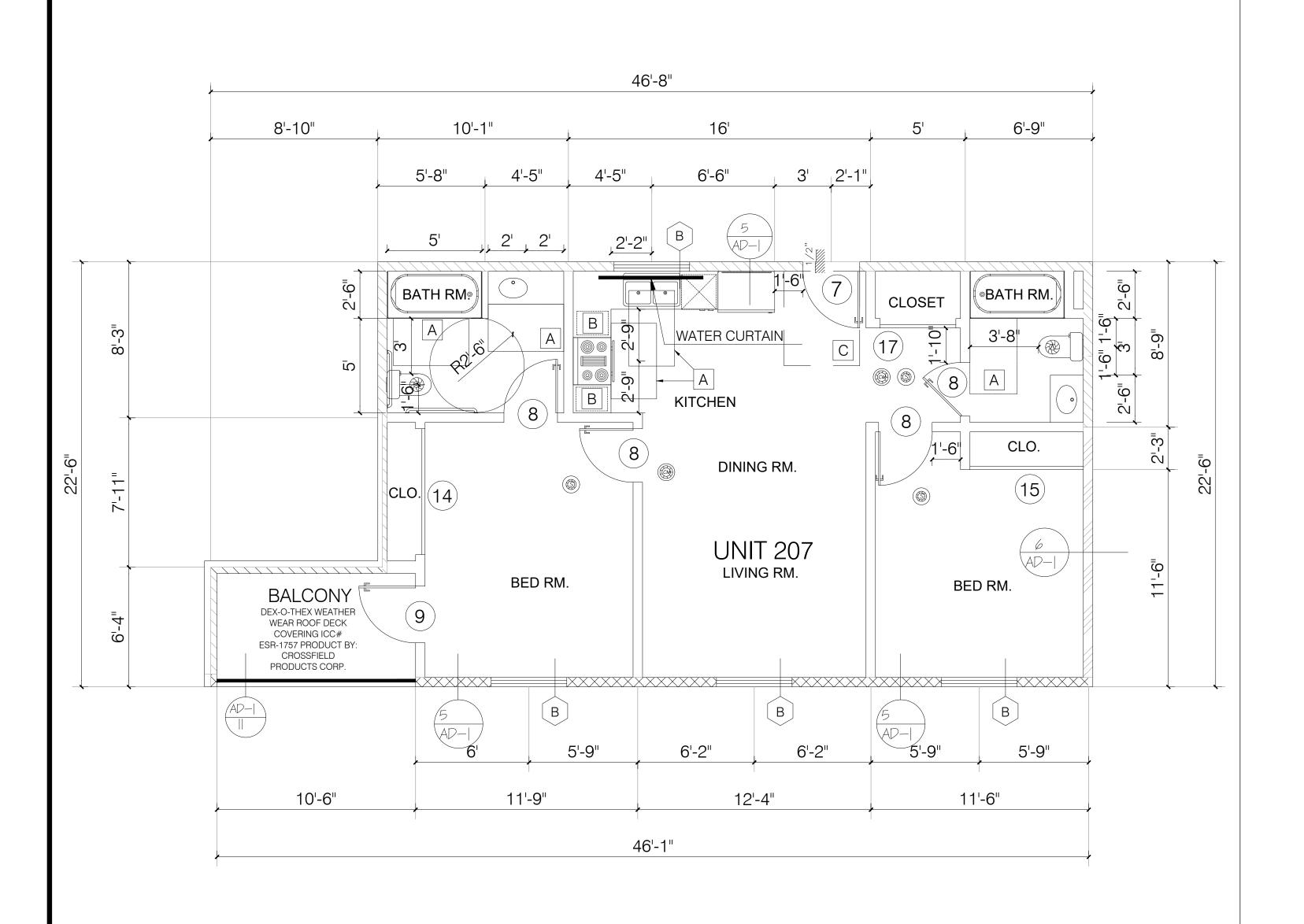
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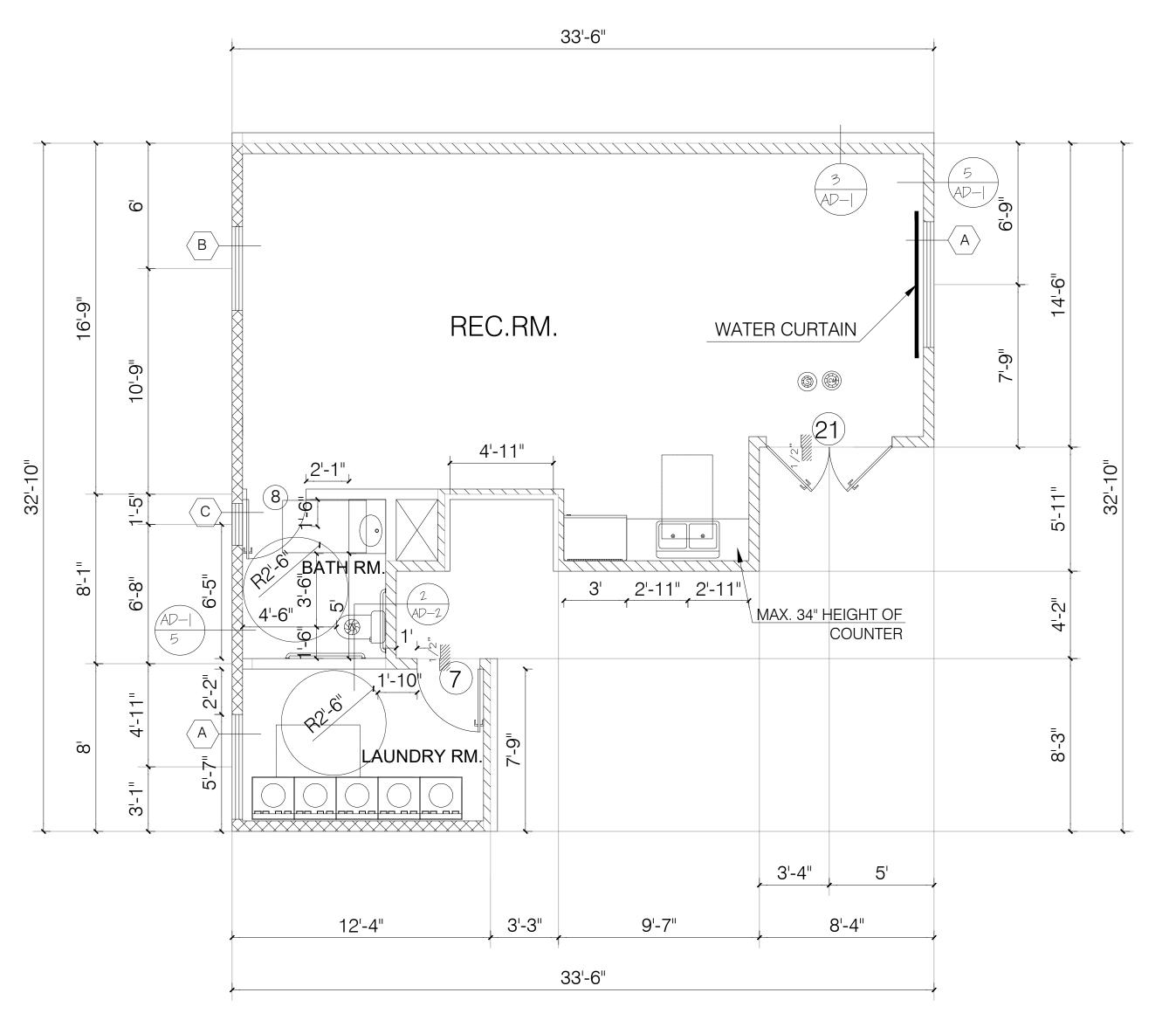
DESIGN & DRAWN: FMI

DATE: 10.02.21

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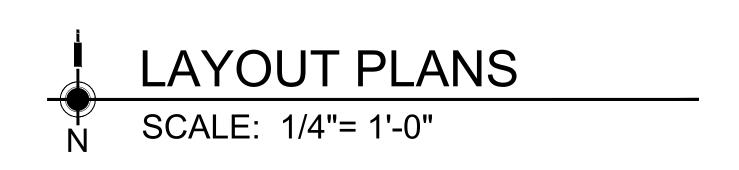
CHEE





TYPICAL UNIT FLOOR PLAN 207,307,407





W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD
(if conter is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED
STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED
CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE
WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

DESIGNED TO COMPLY WITH THE FOLLOWING:

1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE

SECTION 1134A.4.

2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.

SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.

7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH AN ACCESSIBLE POLITE INTO AND

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB
BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION
1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER
CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.

- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

KEYNOTES

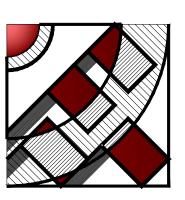
| | WALL |
|---------------|--|
| | ONE HOUR RATED STC 50 (EXTERIOR WALL) ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) |
| | TWO HOUR RATED (SHAFT WALL) |
| 7//// | TWO HOUR RATED (CONCRETE BLOCK WALL) |
| | PROPERTY LINE |
| | HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP |
| | MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. |
| \Rightarrow | GROUND- FAULT CIRCUIT-INTERUPTER |
| * | TEMPERED GLASS |
| \otimes | 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/T ELBOWS FROM DRYER |
| | CARBON MONOXIDE DETECTOR |

48"X30" CLEAR

FLOOR SPACE

15" W. BREADBOARD

60"
60"
60"X54" CLEAR
FLOOR SPACE
54"
54"X42" CLEAR



HMI Design & eng. Construction.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

CONSTRUCTION.

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

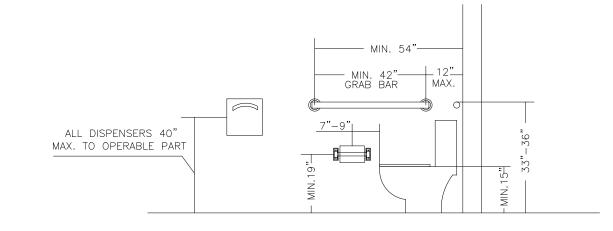
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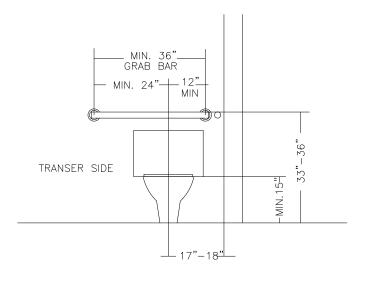
UNITS REC. RM. PLAN

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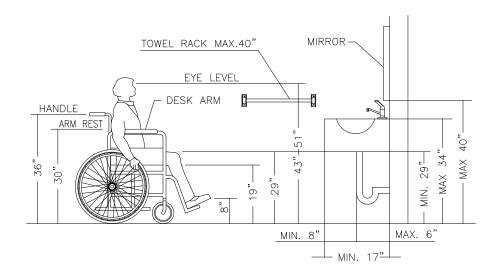
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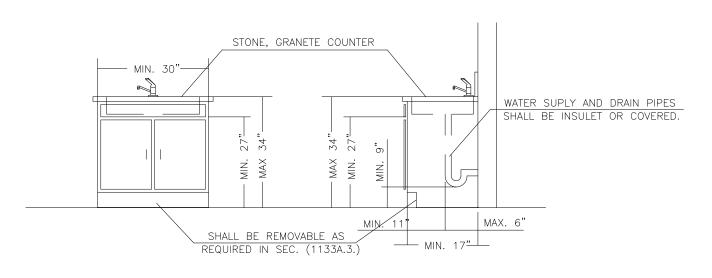




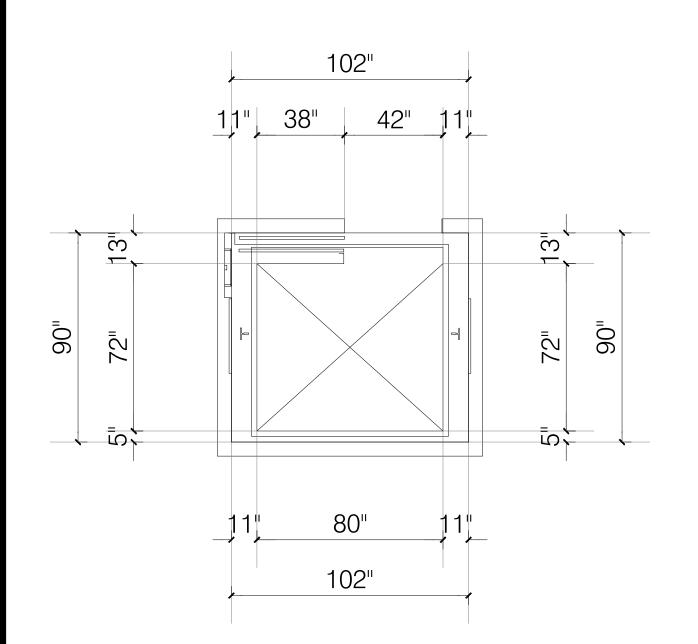
TPY. BATHROOM WATER CLOSET

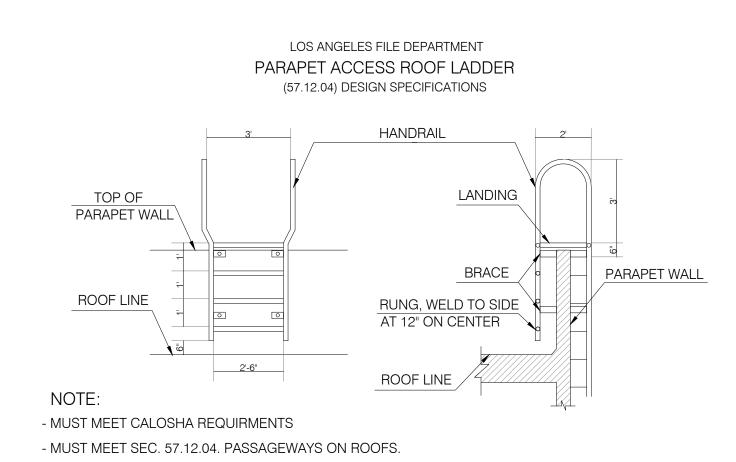


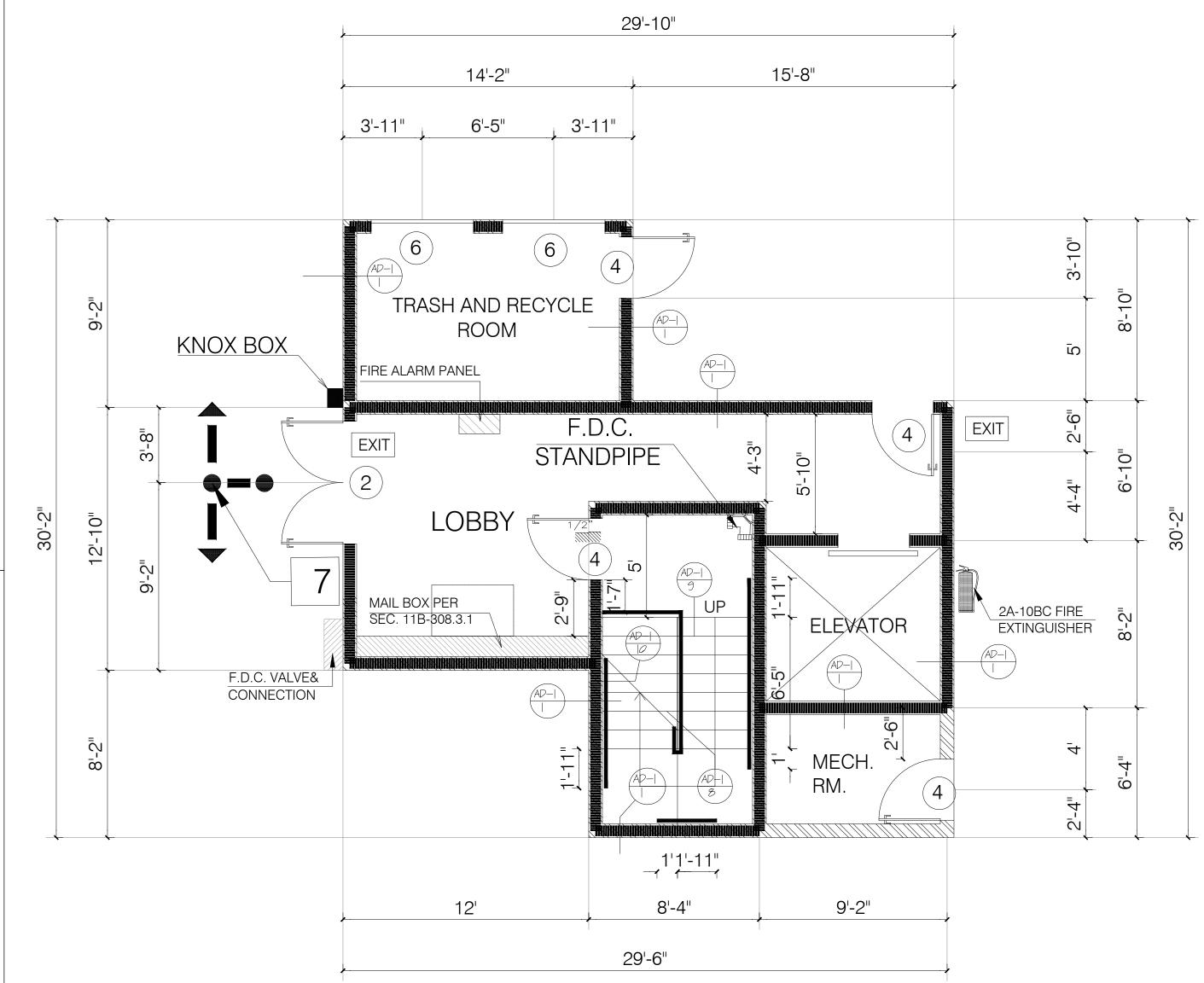
TYP. BATHROOM VANITY AND LAVATORY

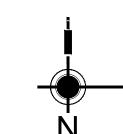


TYP. KITCHEN SINK AND LAVATORY CABINET









PARKING LOBBY, ELEVATOR, STAIR A, MEC. RM., TRASH RM.

SCALE: 1/4"= 1'-0"

1123A.5 Striping for the Visually Impaired. The upper approach and the lower tread of each stair along routes required to be accessible, shall be marked by a strip of clearly contrasting color at least a minimum of 2 inches (50.8 mm) wide to a maximum of 4 inches (101.6 mm) wide placed parallel to, and not more than 1 inch (25.4mm) from, the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable.

- WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical)

COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING

CODE SECTION 12.21A5, CHART NO. 5."

- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)

- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)

- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT. - ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING: 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH

SECTION 1134A.4. 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.

WITH SECTION 1134A.8.

3. SHOWER SHALL COMPLY WITH SECTION 1134A.6. 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7. 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY LEAST ONE SHALL BE MADE ACCESSIBLE 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT

8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.

9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5. 10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED

ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR 11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A. 12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2.

- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE

TO THE OUTSIDE OF THE BUILDING. - EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE

CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

ONE HOUR RATED STC 50 (EXTERIOR WALL)

ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS) TWO HOUR RATED (SHAFT WALL)

TWO HOUR RATED (CONCRETE BLOCK WALL) TWO HOUR RATED WALL

HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE

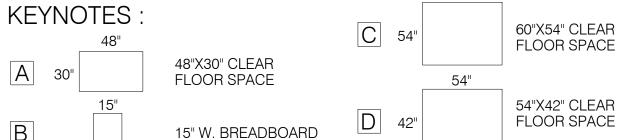
DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. GROUND- FAULT CIRCUIT-INTERUPTER \Rightarrow

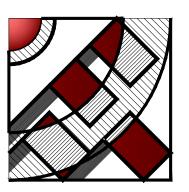
TEMPERED GLASS

4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO **ELBOWS FROM DRYER**

CARBON MONOXIDE DETECTOR **KEYNOTES**

PROPERTY LINE





DESIGN & ENG

19730 VENTURA BLVD. #5 WOODLAND HILLS, CA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

CONSTRUCTION.

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

BICYCLE RM. STAIRCASE

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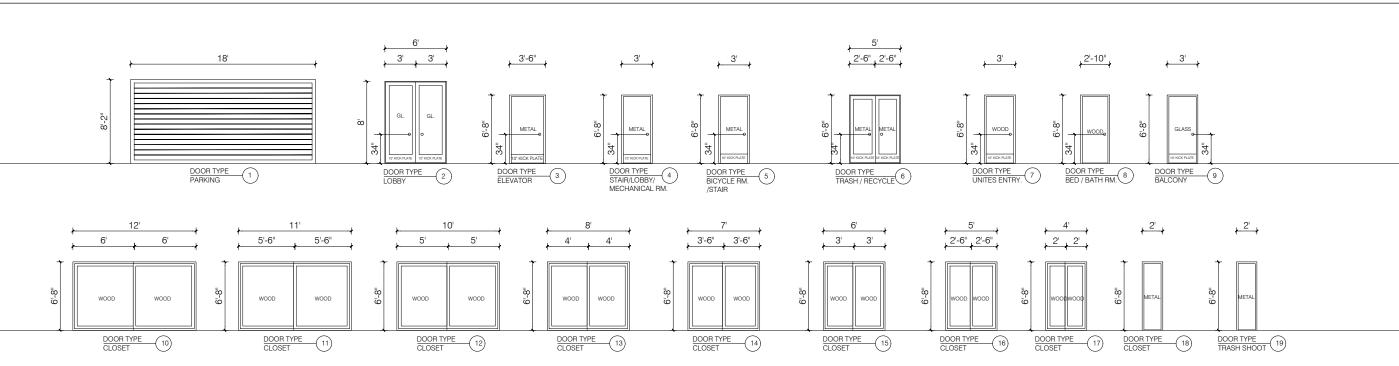
1/4"=1'-0" DESIGN & DRAWN: FMI 10.02.21 JOB NUMBER:

DOOR SCHEDULE

WINDOW SCHEDULE

| | DOGU | | | | | DIMENSIONS | S | | MATERIALS | | FINIS | SHES | | - Door | | | DIMENSIONS | | | | MATERIALS FINISHE | | SHES | DEMARKO | |
|-----|--------------------------|-----------|---------|---------|--------|------------|-------|-------|---------------|-------|-------|---|---------------------|---------------|-------------|------|------------|--------|--------|-------|-------------------|------|-------|---------|-------------|
| | ROOM DOOR | DOOR TYPE | FIRE | WIDTH | HEIGHT | THICK | DOOR | FRAME | CORE | PAINT | GLASS | REMARKS | No. | ROOM | WINDOW TYPE | FIRE | WIDTH | HEIGHT | THICK | DOOR | FRAME | CORE | PAINT | GLASS | REMARKS |
| 1 | GARAGE | SLIDING | - | 18'-0" | 8'-2" | 2" | METAL | METAL | - | PAINT | - | - | $\langle A \rangle$ | LIVING RM. | SLIDING | - | 5'-0" | 5'-0" | 1-3/4" | VINYL | VINYL | - | - | 1/4" | DUAL GLAZED |
| 2 | LOBBY | SWING | - | 6'-0" | 8'-0" | 1-3/4" | WOOD | WOOD | SOLID CORE | PAINT | 1/4" | TEMP. GLASS | $\langle B \rangle$ | BED. / DINING | SLIDING | - | 4'-0" | 5'-0" | 1-3/4" | VINYL | VINYL | - | - | 1/4" | DUAL GLAZED |
| 3 | ELEVATOR | SWING | 90 MIN. | 3'-6" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | WITH SMOKE GASKET AND MAGNETIC CLOSER | ⟨c⟩ | BATH RM. | SLIDING | - | 2'-0" | 2'-0" | 1-3/4" | VINYL | VINYL | - | - | 1/4" | DUAL GLAZED |
| 4 | STAIR / EGRESS / MEC. RM | SWING | 90 MIN. | 3'-0" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | SELF CLOSETING PANIC/FIRE EXIT H/W | $\langle D \rangle$ | STAIR CASE | FIXED | - | 3'-0" | 5'-0" | 1-3/4" | VINYL | VINYL | - | - | 1/4" | DUAL GLAZED |
| 5 | BICYCLE RM. | SWING | 45 MIN. | 3'-0" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | SELF CLOSETING PANIC/FIRE EXIT H/W | | | | | | | | | | | | | |
| 6 | TRASH / RECYCLE | SWING | 90 MIN. | 5'-0" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | SELF CLOSETING WITH GASKET | | | | | | | | | | | | | |
| 7 | ENTRY | SWING | 20 MIN. | 3'-0" | 6'-8" | 1-3/4" | WOOD | WOOD | SOLID CORE | PAINT | - | SELF CLOSETING WITH GASKET | | | | | | | | | | | | | |
| 8 | BED, BATH ROOM | SWING | - | 2'-10" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 9 | BALCONY | SLIDING | - | 2'-10" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 10 | CLOSET | SLIDING | - | 12'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 11) | CLOSET | SLIDING | - | 11'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 12 | CLOSET | SLIDING | - | 10'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 13) | CLOSET | SLIDING | - | 8'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 14) | CLOSET | SLIDING | - | 6'-8" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 15) | CLOSET | SLIDING | - | 6'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 16) | CLOSET | SLIDING | - | 5'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 17) | CLOSET | SLIDING | - | 4'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 18 | CLOSET | SWING | - | 2'-0" | 6'-8" | 1-1/2" | WOOD | WOOD | - | PAINT | - | - | | | | | | | | | | | | | |
| 19 | TRASH CHUTE | SWING | 90 MIN. | 2'-0" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | WITH GASKET AND MAGNETIC CLOSER | | | | | | | | | | | | | |
| 20 | ROOF STAIRCASE | SWING | 90 MIN. | 3'-0" | 6'-8" | 1-3/4" | METAL | METAL | SOLID CORE | PAINT | - | WITH SMOKE GASKET AND PANIC OR FIRE EXIT HARDWA | RE | | | | | | | | | | | | |
| 20 | RECREATION RM. | SWING | 20 MIN. | 2x3'-0" | 6'-8" | 1-3/4" | WOOD | WOOD | SOLID CORE | PAINT | - | WITH SMOKE GASKET AND PANIC OR FIRE EXIT HARDWA | RE | | | | | | | | | | | | |

DOOR ELEVATION AND TYPE



NOTE (DOORS):

- 1. EXIT DOORS SHALL NOT BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. "APPLIES ALSO TO EXIT GATES". THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1003.3.18)
- 2. DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7.75" LOWER THAN THE FLOOR IF IT DOES NOT SWING OVER IT (UBC 1004.9).
- 3. INTERIOR WALL AND CEILING FINISHES ARE CLASS C.
- 4. ALL FIRE RATED DOORS NEED TO BE SMOKE AND DRAFT CONTROLLED PER SEC. 716.5 LABC
- 5. ALL RATED CORRIDOR CONSTRUCTION AND PROTECTED OPENINGS IN ACCORDANCE TO SECTION 709 FOR PARTITIONS, PROTECTIONS TO BE OF A 20MIN. DOORS AND 45MIN. FOR OTHER OPENINGS.
- 6. PANIC/FIR EXIT HARDWARE SHALL INSTALLED AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE. (1008.1.10)
 OPENING PROTECTIVE SHALL BE PER SECTION TABLES 716.5 AND 716.6. DOORS SHALL BE 45 MIN. FIRE RATED AND WINDOWS SHALL BE 45 MIN. FIRE RATED (716)
- 7. ALL DOORS HANDLES SHALL BE 34" IN HEIGHT

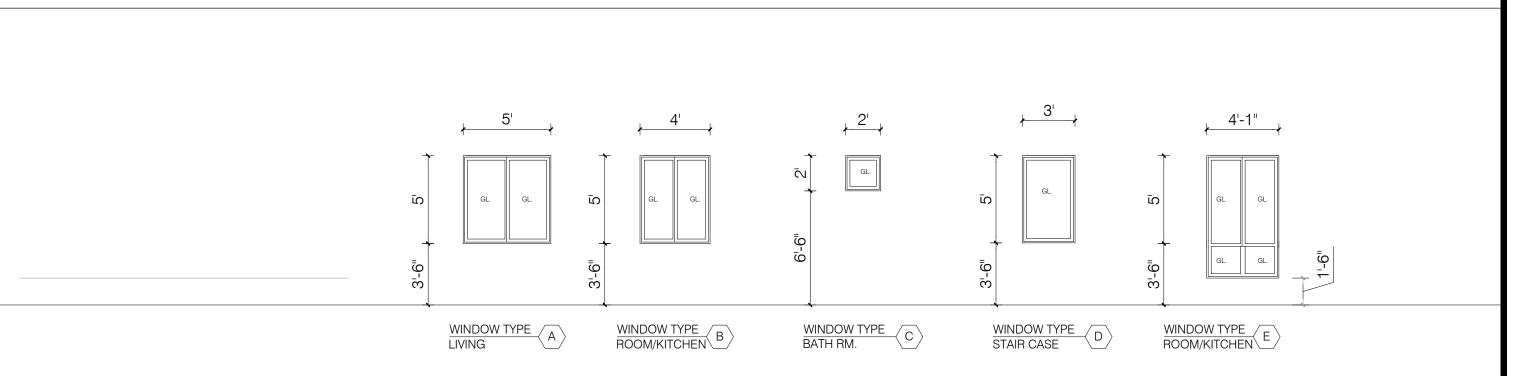
NOTE (WINDOWS):

- 1. BEDROOMS SHALL HAVE AN EGRESS WINDOW WITH SIZE AND HEIGHT AT MAX. 44" SILL HEIGHT. EACH BEDROOM, OFFICE & MAID'S ROOM SHALL HAVE AN EGRESS WINDOW COMPYING WITH SEC. 310.04 CBC.
- 2. INTERIOR WALL AND CEILING FINISHES ARE CLASS C.

NOTE (FINISHING):

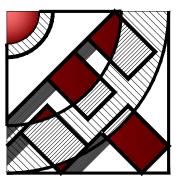
1. FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 802. / 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.

WINDOW ELEVATION AND TYPE



MATERIAL & FINISH SCHEDULE

| | | | | | | | | | | | | F | INISH | ł | | | | | | | | | | | | M | ATER | IAL | | | | |
|-----|----------------|--------|-------|--------------|----------|-----------|--------|----------|------|-------------|------|--------|----------|------------|--------------|--------------|--------|--------|------------|--------------|------|----------|----------------------|---------|-----------|---------------|-----------------|----------|---------|---------------|-----------------|----------|
| | ROOM | | | F | LOO | R | | | | | BASI | E | | | | WA | ALL | | | CEI | LING | | FLC | OOR | | , | WALI | L | | C | EILIN | G |
| F | | CARPET | VINYL | CERAMIC TILE | CONCRETE | DEX O TEX | MARBLE | HARDWOOD | WOOD | COVED VINYL | TILE | MARBLE | CONCRETE | FLAT PAINT | ENAMEL PAINT | CERAMIC TILE | MARBLE | STUCCO | FLAT PAINT | ENAMEL PAINT | | CONCRETE | LT. WT. CONC. O/PLY. | PLYWOOD | DEX O TEX | 5/8" GYP. BD. | EXTERIOR STUCCO | CONCRETE | PLYWOOD | 5/8" GYP. BD. | EXTERIOR STUCCO | CONCRETE |
| 1 | LIVING ROOM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2 | DINING ROOM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3 | BED ROOM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | _ |
| 4 | KITCHEN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | _ |
| 5 | CLOSET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6 | BATH ROOM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7 | MR. BATH ROOM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | _ |
| 8 | CLOSET | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 9 | PARKING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | _ |
| 10 | LAUNDRY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 11) | DECK / BALCONY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 12 | CORRIDOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 13 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



FMI

Design & eng.
Construction.

19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER:

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RAMI BEMMOSHE

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PROJECT:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

DOOR/ WINDOW SCHEDULE

REVISION:

NO. DATE BY

- - -

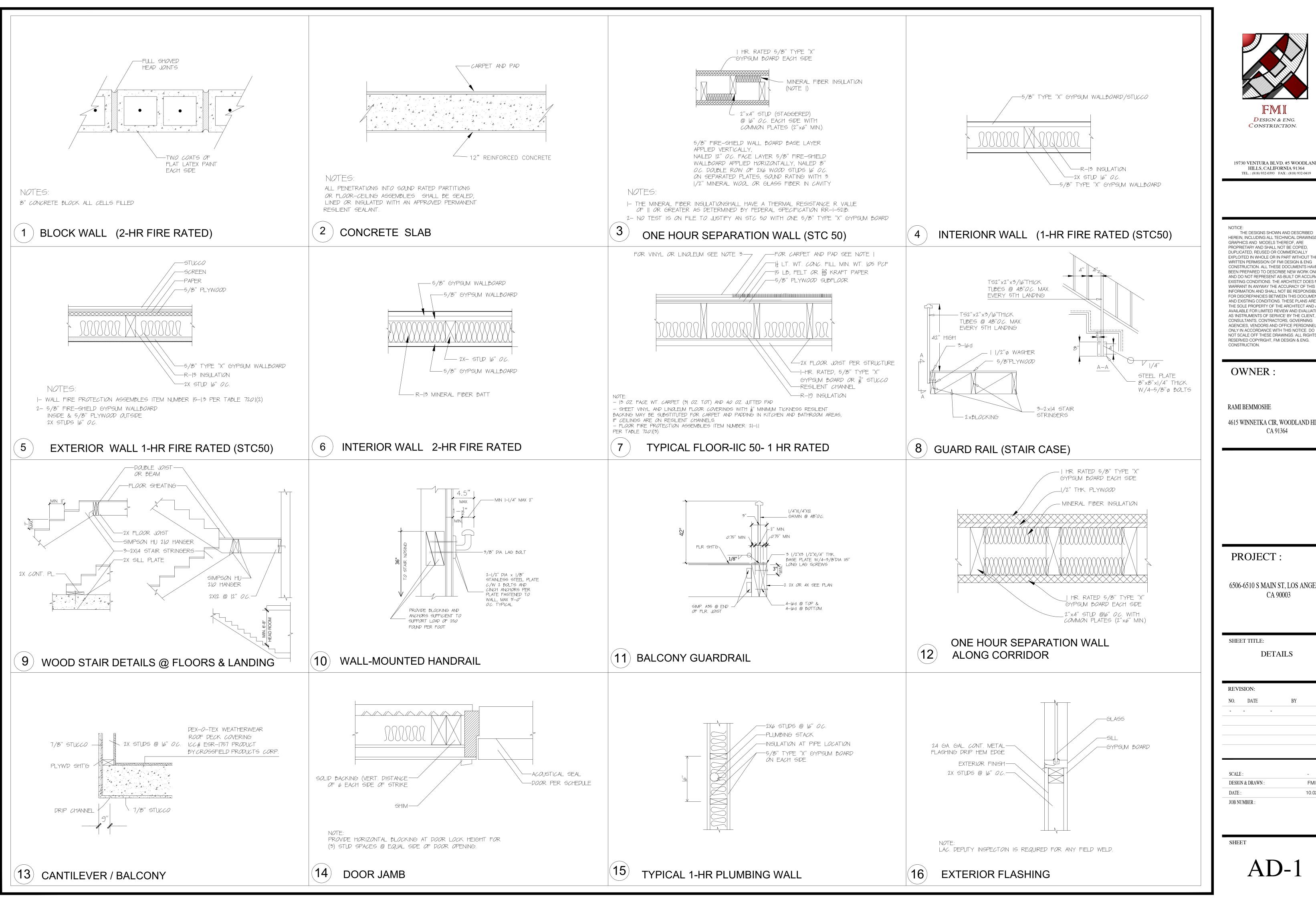
SCALE: DESIGN & DRAWN: FMI

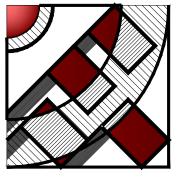
DATE: 10.02.21

JOB NUMBER:

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DESIGN & ENG. CONSTRUCTION.

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OWNER:

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

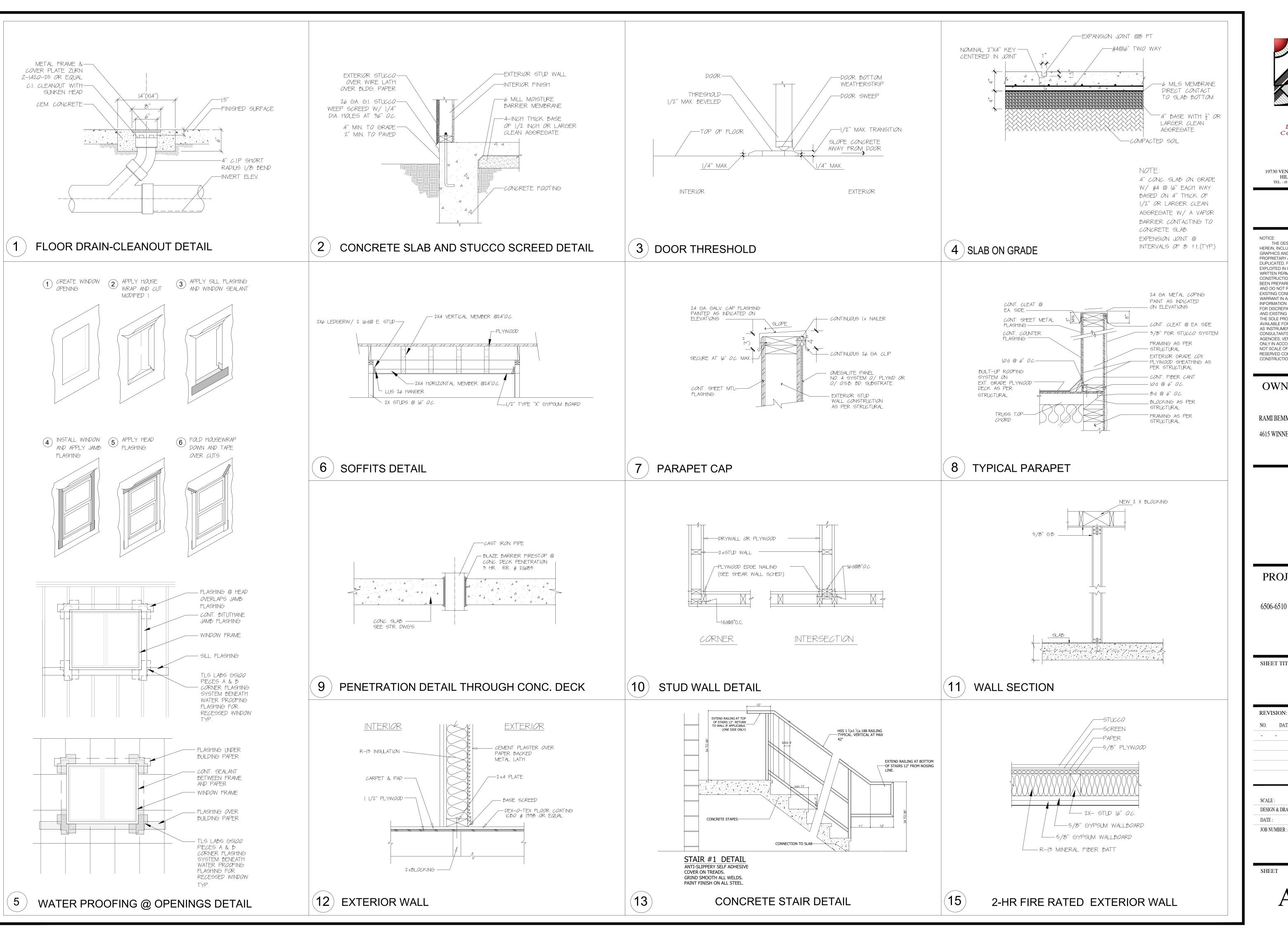
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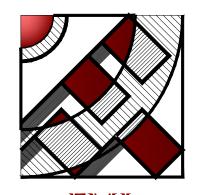
6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

DETAILS

| SCALE: | - |
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| SCALE : DESIGN & DRAWN : | - FMI |
| | - FMI 10.02.21 |





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BUILDING GENERAL NOTES

A. GENERAL REQUIREMENT

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) (SEPARATE PLUMBING PERMIT IS REQUIRED).

3. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

4. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITHA SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SECTION 1210.3 USE OF WATER RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3

5. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)

6. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). 2405.5

7. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

8. PROVIDE A WEEP SCREED FOR STUCCO AT THE WEEP SCREEDS SHALL BE OF A TYPE ABOVE THE EARTH OF 2 INCHES ABOVE PAVED AREAS. OF THE BUILDING. WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE BUILDING FIREPLACE STOVE OR

9. PROVIDE AN APPROVED SPARK ARRESTER FOR THE BARBECUE

AND UNOBSTRUCTED

10. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FPACTILITES (POWER POLES, PULL-BOXES, ACCESS TO ANY WATER OR POWER ALS ES, INVETTORS, APPURTEMANCES, ETC.) OR TO THE TRANSFORMERS, VAULTS, PUMPS

LOCATION OF THE HOOK-UP THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

11. AN APPROVED SEISMIC GAS SHUT OF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.

12. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC.507.3. UPC)

13. UNIT SKYLIGHTS SHALL BE LABELLED BY A LA CITY APPROVED LABELLING AGENCY NAME, PRODUCT, DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED).2405.5.

14. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

B. OCCUPANCY CLASSIFICATION

1. WHEN THE SLEEPING UNITS ARE NOT EQUIPPED WITH COOKING FACILITIES AND THE STAY OF THE GUESTS IS NO MORE THAN 30 DAY, THE BUILDING SHALL BE CLASSIFIED AS R1 OCCUPANCY. EVEN WITH COOKING FACILITIES AS THE "EXTENDED-STAY HOTELS", THEY ARE STILL CONSIDERED AS R1 DUE TO THE TIME DURATION OF THE STAY.

2. DORMITORY FOR ELDERLY WITH A 24 HOUR A DAY MEDICAL SUPERVISION WITH MORE THAN 5 OCCUPANTS SHALL BE CLASSIFIED AS 12. (308.4)

3. ALL CONGREGATE FACILITIES SUCH AS SMALL BOARDING HOUSES, CONVENTS, DORMITORIES, MONASTERIES OR NON-TRANSIENT MOTELS FOR BLENDED FAMILIES NO MORE THAN 16 OCCUPANTS AND SMALL ENOUGH TO OPERATE AS A SINGLE FAMILY UNIT SHALL BE CLASSIFIED AS R3 OCCUPANCY. (310.5)

4. ALL INSTITUTIONAL FACILITIES THAT ACCOMMODATE SIX LESS PEOPLE ARE TO BE CLASSIFIED AS GROUP R3.1 (310.5.1). COMPLY WITH SPECIAL REQUIREMENTS PER SECTION 425.

5. RESIDENTIAL CARE / ASSISTED LIVING FACILITIES INCLUDING MORE THAN SIX AMBULATORY CLIENTS (EXCLUDE STAFF) SHALL BE CLASSIFIED AS R4. (310.6)

6. TOWNHOUSES NOT MORE THAN 3 STORIES ABOVE GRANDE IN HEIGHT WITH A SEPARATE MEANS OF EGRESS FOR EACH UNIT SHALL BE CLASSIFIED AS R3 OCCUPANCY. (IF PORTION OF THE MEANS OF EGRESS IS EXITING THROUGH A COMMON AREA SUCH AS AN EXIT COURT ON THE SIDE OF THE BUILDING, THIS TOWNHOUSE SHALL BE CLASSIFIED AS R2 OCCUPANCY.

7. ADULT CARE OF CHILD CARE FOR LESS THAN 24 HOURS WITH SIX LESS PERSONS SHALL BE CLASSIFIED AS R3 OCCUPANCY. (310.5)

8. RESIDENTIAL CARE / ASSISTED LIVING FACILITIES WITH MORE THAN 6 AMBULATORY CLIENTS AND MORE THAN 6 NON-AMBULATORY OR BEDRIDDEN CLIENTS SHALL BE CLASSIFIED AS R4 (310.6) COMPLY WITH SECTION 425 FOR SPECIAL REQUIREMENTS.

9. THIS IS A MIXED OCCUPANCY BUILDING AND SUBJECT TO THE PROVISIONS OF SECTION 508.

10. THE FOLLOWING ARE REQUIRED FOR ATTACHED GARAGE / CARPORT (U OCCUPANCY):

a. GARAGE SHALL NOT EXCEED 1000 SQ.FT. OR ONE STORY IN HEIGHT EXCEPT IN A MIXED

OCCUPANCY WHERE THE FLOOR AREA SHALL NOT EXCEED 3000 SQ.FT.

b. SEPARATION FROM OTHER THAN PRIVATE GARAGES ADJACENT TO DWELLING UNITS SHALL COMPLY WITH SECTION 508 AND TABLE 508 4 (406 3 4)

COMPLY WITH SECTION 508 AND TABLE 508.4 (406.3.4)

c. SEPARATION FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM

d. SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LEAS THAN A 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2-INCH GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION (406.3.4)

1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE (406.3.4).

e. DOOR BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF-LATCHING, SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 THICK, OR HAVE MINIMUM FIRE PROTECTION RATING OF 20 MINUTES. (406.3.4)

f. DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS
SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MIN.
0.019-INCH (0.48MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (406.3.4)

g. EXTERIOR WALLS OF A U OCCUPANCY LESS THAN 5' FROM A PROPERTY LINE MUST BE ONE-HOUR CONSTRUCTION WITHOUT OPENINGS. (T602)

h. GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. (406.3.4)

i. CONCRETE OR SIMILAR NONCOMBUSTIBLE AND NONABSORBENT FLOOR, OR ASPHALT SURFACE AT GROUND LEVEL ONLY. THE MIN. THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3-1/2 INCHES. (406.4.5)

C. FIRE-RESISTANCE RATED CONSTRUCTION

1. FIRE RATED ASSEMBLIES SHALL BE PER TABLE 720, GENERIC ASSEMBLIES OF GYPSUM HANDBOOH, HAVE LARR APPROVAL OR ICC APPROVAL.

2. OPENINGS

DOOR OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4-HOUR) OR (⅓ HOUR) FIRE ASSEMBLIES (NOT PERMITTED) (715.4)

NUMBOWS OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4 HOUR) OR

b. WINDOWS OPENINGS IN EXTERIOR WALLS MUST BE PROTECTED WITH (3/4-HOUR) OR (\frac{1}{2} HOUR) FIRE ASSEMBLIES (NOT PERMITTED) (715.5)

c. DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

d. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED34" MIN. AND 48" MAX ABOVE FINISHED FLOOR.

3. OPENINGS THROUGH A FLOOR/ CEILING ASSEMBLY SHALL BE PROTECTED

BY (2) HOUR SHAFT ENCLOSURE. THE SHAFT ENCLOSURE SHALL BE CONSTRUCTED OF FIRE BARRIERS AND HORIZONTAL ASSEMBLIES. (707)

4. PENETRATIONS IN A FIRE-RATED WALL SHALL BE PROTECTED BY AN APPROVED FIRE STOP

MATERIAL IN ACCORDANCE WITH SECTION 713.3.1.

STEEL, COPPER OR FERROUS PIPES OR DONDUITS MAY PENETRATE CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAXIMUM 6-INCH DIAMETER AND THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES.

MEMBRANE PENETRATIONS OF MAXIMUM 2-HR FIRE-RESISTANCE RATED WALL AND PARTITIONS
5. BY STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT EXCEED 100 SQUARE INCHES FOR ANY 100 SQUARE FEET OF WALL AREA. OUTLET BOXES ON OPPOSITE SIDES OF WALLS OR PARTITIONS MUST BE SEPARATED BY HORIZONTAL DISTANCE OF 24 INCHES. (714.3.2)

WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR WHERE LARGER OPENINGS ARE REQUIRED THAN PERMITTED IN (B) ABOVE, THEY MUST BE QUALLIFIED BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION 714.3.1.1

6. SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 716.3.2

a. DUCT PENETRATIONS OF FIRE WALLS IN ACCORDANCE TO SECTION 716.1.1

b. DUCT PENETRATIONS OF FIRE BARRIERS, EXCEPT EXIT ENCLOSURES AND EXIT PASSAGEWAYS WHERE THEY ARE NOT ALLOWED TO PENETRATE. (716.5.2)

c. DUCTS PENETRATING SHAFTS. (716.5.3)

d. DUCTS PENETRATING FIRE PARTITIONS AND FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR (716.5.4.1)

e. DUCTS PENETRATING SMOKE BARRIERS (716.5.5)

f. DUCTS PENETRATING HORIZONTAL ASSEMBLIES (716.6)

6. DRAFT STOP.

a. IN BUILDING USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN WOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. DRAFT STOPPING SHALL BE LOCATED ABOVE AND INLINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATION

b. IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANSARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION DRAFTS TOPPING SHALL BE INSTALLED ABOVE AND INLINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE FLOOR SHEATHING ABOVE (718.4.3).

c. DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH PLYWOOD, 3/8-INCH TYPE 2-M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT. DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED. (718.3.1)

7. DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (3000 SF BETWEEN DRAFT STOPS) (118.4.2)

8. DRAFT STOPS SHALL BE PROVIDED WITHIN A CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION, UNLESS THE BUILDING IS SPRINKLERED WITH NFPA13 SPRINKLER SYSTEM (1000 SF BETWEEN DRAFT STOPS) (117.4.3)

9. HORIZONTAL OCCUPANCY SEPARATION MUST BE SUPPORTED WITH A STRUCTURAL SYSTEM HAVING EQUIVALENT FIRE-RESISTIVE PROTECTION.(704.1)

10. FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 717 AT THE FOLLOWING LOCATION:

a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.

b. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 c. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES

SUCH AS OCCUR AT OFFISH, DROP CEILINGS AND COVE CEILINGS.

d. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.

e. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

11. THIS BUILDING IS OF TYPE V-A CONSTRUCTION:

a. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE
WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH
A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.

b. ALL INTERIOR PARTITIONS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTOIN.

c. ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BFE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.

d. ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND CEILING OF _____ HOUR FIRE RESISTIVE CONSTRUCTOIN. (707.4)

e. RECESSED CEILING LIGHHT FIXTURES MUST BE BOXED AROUND WITH

e. RECESSED CEILING LIGHHT FIXTURES MUST BE BOXED AROUND WITH

5/8" TYPE "X" DRYWALL" TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.

f. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.

g. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL.

DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED. (716.5)

h. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY
SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING
MATERIAL. NSULATION IS NOT APPROVED. (712.4.1.1)

i. PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBALE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS. (716.6)

j. STEEL BEAMS AND COLUMNS SHALL BE PROTETED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPACY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING

ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS)
NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF.
THE REQUIRED FIRE RESISTANCE SHALL NOT BFE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBRES. (714.2)

k. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.

12. S2 OCCUPANCY, TYPE 1 CONSTRUCTION GARAGE REQUIRES 2 HOUR SEPARATION (MIN. FLOOR ASSEMBLY FOR S2 OCCUPANCY) FROM R2 OCCUPANCY, BUT NOT LESS THAN REQUIRED PER T508.4

13. S-2 OCCUPANCY GARAE SHALL COMPLY WITSH THE FOLLOWINGS:

a. CONCRETE OR SIMILAR NINCOMBUSTIBLE AND NINABSORBENT FLOOR, OR OR ASPHALT SURFACE AT GROUND LEVEL ONLY. (406.2.6)

b. SLOPED FLOOR TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (406.2.6)

 c. FLOOR SYSTEM DESIGNED FOR UNIFORM OR CONCENTRATED LOADS PER TABLE. (1607.1)

d. MINIMUM HEADROOM OF 7ft. (406.2.2)

e. VEHICLE BARRIERS NOT LESS THAN 2 FEET HIGH PLACED AT THE EHD OF DRIVE LANES, AND AT THE END OF PARKING SPACES WHERE THE DIFFERENCE IN ADJACENT FLOOR ELEVATION IS GREATER THAN 1 OOT. (406.2.4)

f. VEHICLE BARRIERS DESIGNED IN ACCORDANCE WITH SECTION - 1607.7

D. INTERIOR FINISHES

1. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN T803.11. SPECIFY INTERIOR WALL AND CEILING FINISH ON PLANS.

2. MATERIALS, OTHER THAN FOAM PLASTICS, USED AS INTERIOR TRIM SHALL HAVE A MIN. CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEX AND SHALL HAVE A MIN. CLASS C FLAME SPREAD AND SMOKE DEVELOPED INDEX AND SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA IN WHICH IT IS ATTACHED. (LAFC 804.1)

3. CURTAINS, DRAPERIES, FABRIC HANGINGS, AND SIMILAR COMBUSTIBLE DECORATIVE MATERIALS SUSPENDED FROM WALLS OR CEILINGS SHALL NOT EXCEED 10% OF THE WALL OR CEILING AREA TO WHICH SUCH MATERIALS ARE ATTACHED. (LAFC 807.3)"

4. IN EVERY GROUP A.E.I.R-1. AND R-2.1, ALL DRAPES, HANGINGS, CURTAINS, DROPS, AND ALL OTHER DECORATIVE MATERIAL SHALL BE MADE FROM A NONFLAMMABLE MATERIAL OR TREATED AND MAINTAINED IN A FLAME RETARDANT CONDITION BY MEANS OF A FLAME-RETARDANT SOLUTION OR PROCESS APPROVED BY THE OSFM. (TITLE 19. Div 1.3.08)"

F. MEANS OF EGRESS

1. ALL STAIRWAYS SHALL BE BUILT OF MATERIALS CONSISTENT WITH THE TYPES PERMITTED FOR THE TYPE OF CONSTRUCTION OF THE BUILDING, EXCEPT THAT WOOD HANDRAILS SHALL BE PERMITTED FOR ALL TYPES OF CONSTRUCTION (1026.5)

2. EXTERIOR EXIT STAIRS, BALCONIES AND RAMPS SHALL BE LOCATED AT LEAST 10 FEET FROM ADJACENT LOT LINES AND FROM OTHER BUILDINGS ON THE SAME LOT (1027.3)

3. ALL EXIT DOORS SHALL COMPLY WITH SECTION 1008-1008.1

a. CLEAR WIDTH OF EACH DOOR OPENING SHALL BE MIN.32" OR PER TABLE 1005.1, WHICHEVER IS GREATER.

b. MIN. DOOR HEIGHT OF 6'-8"

c. SHALL BE CAPABLE OF OPENING 90 DEGREES.

d. THE MAXIMUM WITH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL.

e. EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.

4. THE EXIT PATH SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN. (1011)

5. PROVIDE A 1HR. FIRE RATED CORRIDOR IN ACCORDANCE WITH TABLE 1018.1 a. OCCUPANT LOAD 30

b. OCCUPANT LOAD 10

6. DETAIL AND REFERENCE ALL RATED CORRIDOR CONSTRUCTION AND PROTECTED OPENING IN ACCORDANCE TO SECTION 709 FOR FIRE PARTITIONS. PROTECTION TO BE OF A 20MIN. DOORS AND 45MIN. FOE OTHER OPENINGS. (1018.1)

7. PROVIDE A MINIMUME CORRIDOR WIDTH PER TABLE 1018.2 OR PER SECTION 1005.1 (1018.2)

8. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.50" IN HEIGHT. 0.75" IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS. (1008.1.7)
9. THE MEANS OF EGRESS SYSTEM MUST HAVE A CLEAR CEILING HEIGHT OF 7'-6" (1003.2)

10. VERTICAL EXIT ENCLOSURES(1022.2)

a. CONNECTING 4-STOREIS MORÈ: PROVIDE 2-HOUR FIRE RESISTANCE RATING CONSTRUCTION (FIRE BARRIER).

b. CONNECTING UP TO 3-STORIES PROVIDE 1-HOURE FIRE RESISTANCE RATING CONSTRUCTION (FIRE BARRIER).c. ALL OPENING TO BE PROTECTED IN ACCORDANCE TO SECTION 716. OPENINGS

c. ALL OPENING TO BE PROTECTED IN ACCORDANCE TO SECTION 716. OPENINGS SHALL BE LIMITED TO THOSE NECESSARY FOR EXIT ACCESS TO THE ENCLOSURE FROM NORMALLY OCCUPIED SPACE AD FOR EGRESS FROM THE ENCLOSURE. (1022.4)

11. EGRESS BALCONIES TO COMPLY SECTION 1019. DETAIL PLANS TO MEET ALL REQUIREMENTS.

12. ONE OPENABLE WINDOW WITH AN OPENING AREA OF NOT LESS THAN 5.7 SQ.FT., MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND SILL HEIGHT NOT OVER 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT. (1029)

13. COMMON PATH OF TRAVEL SHALL NOT EXCEED 75 FT OR 125 FT PROVIDED THE R2 IS PROTECTED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDING WITH SECTION 903.3.1.1

14. AREA OF REFUGE CAN NOT PROJECT INTO EGRESS OF TRAVEL.

G. EXIT NOTE

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALY ILLUMINATED.
 EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX).

3. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702.

4. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.

5. EXIT SIGNS SHALL BE XONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMERY POWER LOSS (1011.2-1011.5.3).

6. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.

7. DOOR HANDLES. LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED

8. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.1.9
9. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE
ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF
EGRESS IS OCCUPIED. THR MEANS OF EGRESS ILLUMINATION LENEL SHALL
NOT BE LESS THAN 1 FOOT-CANDLE AT WALKING SURFACE. (1006.1)

10. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALY BE PROVIDED BY THE PREMISES' ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMEGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREA (1006.3):

a. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES

THAT REQUIRE TWO OR MORE MEANS OF EGRESS;
b. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS

REQUIRED TO HAVE TWO OR MORE EXITS;
c. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS

REQUIRED TO HAVE TWO OR MORE EXITS.

d. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1024.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

e. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.5, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

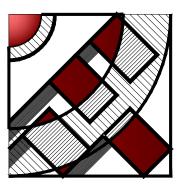
11. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGEF BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.

12. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED SLONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. (1006.3)

13. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRIC SYSTEM PROVIDED FROM STORAGE BATTERIES UNIT EQUIPMENT OR AN ON-SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE. FOR HIGH RISE BUILDINGS, SEE SECTION 403

14. EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100' FROM THE NEARES VISIBLE EXIT SIGN. (CBC 1013.1)

15. EMERGENCY AND STANDBY POWER SYSTEMS SHALL BE DESIGNED TO PROVIDE REQUIRED POWER FOR 2 HR. MIN. UNLESS SPECIFIED OTHERWISE.



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PROJECT:

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SHEET TITLE:

REVISION:

GENERAL BUILDING NOTES

NO. DATE BY

SCALE: DESIGN & DRAWN: FMI
DATE: 10.02.21

SHEET

JOB NUMBER:

N-1.0

BUILDING GENERAL NOTES

H. INTERIOR ENVIRONMENT

1. PROVIDE STAIRWAY ILLUMINATION MIN. 1 FOOT-CANDLE AT TREAD

2. PROVIDE 23" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS 1008.1.1 3. ONE ROOM MUST BE MIN. OF 120 SQ.FT. IN AREA OTHER HABITABLE ROOMS, EXCEPT KITCHEN MUST BE A MIN. OF 70 SQ.FT. (1208.3)

4. HABITABLE ROOMS OTHER THAN A KITCHEN SHALL NOT LESS THAN 7' ANY DIRECTION (12.08.1)

5. REQUIRED CEILING HEIGHT IS 7'-6" MIN., 7'-0" MIN. IN KITCHEN, BATHROOM, LAUNDRY ROOMS AND STORAGE ROOMS. (1208.2)

6. PROVIDE NATURAL LIGHT IN (HABITABLE ROOMS) BY MEANS OF EXTERIOR WALL OPENING WITH AN AREA NOT LESS THAN 8% OR FLOOR AREA. (1205.2)

7. PROVIDE NATURAL LIGHT FOR ADJOINING SPACES (1205.2.1)

8. PROVIDE NATURAL VENTILATION IN (HABITABLE ROOMS) (BATHROOMS) BY MEANS OF OPERABLE EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 4% OF FLOOR AREA. MECHANICAL VENTILATING SYSTEM MAY BE PERMITTED (1204.3)

9. PROVIDE NATURAL VENTILATION FOR ADJOINING SPACES (1203.4.1)

10. FOR THE PURPOSE OF PROVIDING NATURAL LIGHT OR VENTILATION AT EXTERIOR OPENINGS OF BUILDINGS, A MIN. YARD OF 3 FEET IN WIDTH FOR ONE AND TWO STORY BUILDING IS REQUIRED. FOR BUILDINGS MORE THAN TWO STORIES, THE MIN. WIDTH OF THE YARD SHALL BE INCREASED TO 1 FOOT FOR EACH ADDITIONAL STORY 1206.2

11. COURTS USED FOR NATURAL LIGHT OR VENTILATION AND HAVING WINDOW OPENING ON OPPOSITE SIDE SHALL BE LESS THAN 6 FEET IN WIDTH. COURTS BOUNDED ON THREE OR MORE SIDES BY THE WALL OF THE BUILDINGS SHALL NOT BE LESS THAN 10 FEET IN LENGTH, UNLESS BOUNDED ONE END BY A PUBLIC WAY OR YARD. FOR BUILDINGS MORE THAN TWO STORIES IN HEIGHT, THE COURT SHALL BE INCREASED 1 FOOT IN WIDTH AND 2 FEET IN LENGTH OF EACH ADDITIONAL STORY. (1206.3)

12. A MECHANICAL VENTILATION SYSTEM IN LIEU OF OPENABLE WINDOWS IN THE BATHROOM, TOILET ROOM AND LAUNDRY, WHICH FURNISHES FIVE AIR CHANGES PER HOUR DIRECT TO THE OUTSIDE, IS REQUIRED.

13. ATTIC VENTILATION OF $\frac{1}{150}$ OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. ATTIC ARE) IS REQUIRED. (1203.2)

14. AN ATTIC ACCESS OPENING (20"X30") IS REQUIRED AT EACH SEPARATE ATTIC SPACE WITH A MINIMUM OF 30" CLEARANCE (1209.2)

15. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN $\frac{1}{150}$ OF UNDER FLOOR AREA. (1203.1) 16. SHOW MINIMUM 18"X24" UNDER FLOOR ACCESS OPENING. (1209.1)

17. OPENINGS BELOW GRADE FOR THE PURPOSE OF NATURAL VENTILATION SHALL HAVE A MINIMUM SIZE ACCORDING TO (1203.4.1.2)

18. PROVIDE A DOOR AND WINDOW SCHEDULE. SHOW TYPE AND SIZE OF EACH.

19. FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 802. / 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.

20. PROVIDE SHOWER AND LOCKER FACILITIES AS REQUIRED BY SECTION 63.07

21- ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 AQUARE INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINDED TO A POINT 70 INCHES ABOVE THE SHOWER DRAIN OUTLET. (LAPC 411.7)

22. TOILET ROOMS SHALL BE PROVIDED WITH A FULLY OPENABLE EXTERIOR WINDOW WITH AN AREA NOT LESS THAN 3 SQUARE FEET OR A VERTICAL DUCT NOT LESS THAN 100 SQUARE INCHES IN AREA FOR THE FRIST WATER CLOSET PLUS 50 SQUARE INCHES ADDITIONAL OF AREA FOR EACH ADDITIONAL WATER CLOSET, OR A MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEM SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.

23. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4" (1210.1)

24. WALLS WITHIN 2 FEET (610 MM) OF THE FRONT AND SIDES OF URINALS AND WATER CLOSET SHALL HAVE A SMOOTH, HARD NON-ABSORDENT SURFACE OF PORTLAND CEMENT, CONCRETE, CORAMIC TILE OR OTHER SOOTH, HAED NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FEET (1219MM), AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTUER. (807.102)

25. CEMENT, FIBERCEMENT, OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. WATER-RESISTANCE GYPSUM BACKING BOARD SHALL BE USED AS A BASE FOR TILE IN WATER CLOSET COMPATMENT WALLS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C840. WATER-RESISTANT GYPSUM BOARD

SHALL NOT BE USED IN THE FOLLOWING LOCATIONS: SECTION 2509.2

a. OVER A VAPOR RETARDER.

b. IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS.

c. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES O.C. FOR 1/2 26. PROVIDE SEPARATION BY A LIGHTING DOOR BETWEEN FOOD PROPORTION AREA(S) (INCLUDING FOOD STORAGE ROOM) AND TOILET ROOM(S) (6302.5)

27. ONE ELEVATOR IN BUILDINGS FOUR OR MORE STORIES ABOVE OR BELOW GRADE PLANE SHALL BE OF SUCH A SIZE TO ACCOMMODATE A 24-INCH BY 84-INCH AMBULANCE STRETCHER IN THE HORIZONTAL. OPEN POSITION AND SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES. SEE 3002.4A FOR EXCEPTIONS. 91.3002.4

28. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES OVER THE FLOOR LEVEL. (1205.1 AND 1205.3)

I. BUILDING ENVELOPE

1. A FIRE RETARDANT ROOF COVERING IS REQUIRED. PROVIDE A COMPLETE DESCRIPTION ON PLANS. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A VERY HIGH FIRE HAZARD SEVERITY ZONE. (1505.1,7207.4)

2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET. MEASURED FROM GRADE, AT EXTERIOR WALLS AND SOORS. (6306)

3. IN R2 OCCUPANCY, WINDOW SILL OF OPENABLE WINDOWS MORE THAN 72 INCHES ABOVE FINISHED GRADE OR OTHER SURFACE BELOW SHALL NOT LESS THAN 24 INCHES FROM FINISHED FLOOR OF THE ROOM IT IS LOCATED IN (1405.13.2)

4. DETAIL OF THE GUARDRAILS AT THE FLOOR AND ROOF OPENINGS OCCUPIED ROOFS AND BALCONIES OR PORCHES MORE THAN 30" ABOVE GRADE ARE REQUIRED. GUARDRAILS SHALL BE 42" IN HEIGHT, HAVE INTERMEDIATE RAILS OR BALUSTERS SPACED AT 4" (1013.2)

5. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFETY GLAZING. GLAZING IN: SECTION 2406

a. SWING DOORS.

b. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS

IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.

c. STORM DOORS.

d. UNFRAMED SWINGING DOORS.

e. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 mm) ARCOF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

g. FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS e AND f, WHCH MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).

. EXPOSED AREA OF AN INDIVIDUAL PANE GRATER THAN 9 SQUARE FEET

ii. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.

iii. EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.

iv. ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

h. GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE, INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.

i. WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:

THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING.

ii. THE GLAZING IS WITHIN 60 INCHES OF A SWIMMING POOL OR SPA WATER'S EDGE.

ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE: WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE (READ CODE FOR EXCEITION WITH SPECIAL INSTALLATION).

ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY FIRECTION EHEN THE EXPOSED SURFACE IF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION).

PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE. (L.A.M.C.)

m. PROVIDE A WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4" ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.

J. ACCESSIBILITY

ADAPTABLE BATHROOMS AND FIXTURE ELEVATIONS:

a. LAVATORIES SHALL BE AT 34" MAX A.F.F., 27" MIN. KNEE CLEAR AT 19" MIN. DEEP AND 24" MIN. CLEAR FROM C/L TO ADJACENT WALL TO ALLOW A PARALLEL APPROACH AND REMOVABLE BASE CABINETS AND FINISHED FLOOR BELOW.

b. SHALL PROVIDE GRAB BAR BACKING FOR ALL W/C'S TUBS AND ROLL-IN **SHOWERS**

C. PROVIDE 17" - 18" FROM C/L OF W/C'S TO ADJACENT WALL. TOWEL BARS SHALL BE AT 40" MAX. A.F.F...

60" DIAMETER MANEUVERING SPACE INSIDE BATHROOMS IS REQUIRED. MIN.30"X48" CLEAR PARALLEL TO SHOWER CONTROL IS REQUIRED.

- KITCHEN ELEVATIONS:

PROVIDE 30" KITCHEN SINK AND 30" KITCHEN WORK COUNTERS WITH REMOVABLE BASE CABINETS AND FINISHED FLOOR BELOW AND WITH KNEE AND CLEARANCES.

b. PROVIDE SHOW 2 - 15" BREADBOARDS IN LIEU OF THE 30" KITCHEN WORK COUNTER

c. MIN. 48" CLEAR ACCESS AISLE AT KITCHEN IS REQUIRED.

- 10" KICK PLATE AT BOTTOM OF ALL DOORS IS REQUIRED. - THREE CONDITIONS FOR "LIVE-WORK RESIDENTIAL UNITS.

a. LIVE-WORK RESIDENTIAL UNITS "WILL NOT OPEN TO THE PIBLIC"

 b. LIVE-WORK RESIDENTIAL UNITS "WILL NOT BE USED FOR INSTRUCTIONAL CLASSES NOR WILL BE IT BE USED FOR RETAIL PURPOSES.

c. THERE WILL BE NOT EMPLOYEES IN THESE UNITS. - WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical)

K. SECURITY REQUIREMENTS

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer,

through windows located in the vicinity of the door

or through view ports in the door or adjoining wall. (6706) 2. Screens, barricades, or fences made of a material which would preclude human

climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)

3. Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in-swinging doors shall

be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4) 4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)

5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb

stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long.

(6709.5, 6709.7) 6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated

locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B,

F, and S occupancies). (6709.2) 7. Straight dead bolts shall have a min. throw of 1" and an embedment of not

less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2) 8. Wood panel type doors must have panels at least 9/16 in. thick with shaped

portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of

adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall

be of solid lumber in thickness with overall dimensions of not less than 1-3/8 inches and 3 inches in width. (91.6709.1 item 2)

9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel from track while in the closed position. (6710)

10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.1 11. Metal or wooden overhead or sliding doors shall be secured with a cylinder

lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)

12. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards

shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712) 13. In Group B, F, M, and S occupancies, panes of glazing with at least one dimension greater than 5 in. but less than 48 in, shall be constructed of tempered or approved burglary-resistant material or protected with metal bars or grilles (6714) 14. Glazed openings within 40" of the required locking device of the door,

when the door is in the closed and locked position and when the door is openable from the inside without use of key, shall be fully tempered glass per Section 2406, or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a

maximum opening of 2". The provisions of this section shall not apply to slide glass doors which conform to the provisions of Section 6710 or to view ports or windows which do not exceed 2"in their greatest dimensions. (6713) 15. Louvered windows shall be protected by metal bars or grills with openings

that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3) 16. Other openable windows shall be provided with substantial locking devices. In

Group B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps.

(6715.2)17. Sliding windows shall be provided with locking devices. A device shall be installed in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position.

18. Sliding glass windows sash shall be closed and locked when subjected to the tests specified in Sec. 6717.2.

19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located

on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (6715.4)

20 All other openings other than doors or glazed openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716.6)

21. THE BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72"

BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.

THIS NOTE SHALL APPLY TO ALL NEW BUILDINGS MEETING ANY ONE OF THE FOLLOWING CONDITIONS

a. THERE ARE MORE THAN 3 STORIES ABOVE GRADE PLANE. b.THE TOTAL BUILDING AREA IS 50,000 SF. OR MORE. c. THE TOTAL BASEMENT OR PARKING AREA IS 10.000 SF. OR MORE.

BELOW GRADE PLANE. e. ANY BUILDING THAT IS 21,000 SF. OR GREATER AND IS EQUIPED WITH A SOLAR VOLTAIC SYSTEM.

d. ANY BASEMENT OR LEVEL THAT EXTENDS 2 OR MORE STORIES

E. FIRE PROTECTION

 BUILDING WITH FLOOR AREAS OVER 1500 SF SHALL BE SPRINKLED WHERE 20 SF OPENING FOR EVERY 50 FT. OF WALL LENGTH IS NOT PROVIDED (903.2.11.1)

2. AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT ALL BUILDINGS WITH GROUP "R" FIRE AREA. THIS BUILDING AND GARAGE MUST BE EQUIPED WITH AUTOMATIC FRE EXTINGUSHING SYSTEM, COMPLYING WITH (NFPA-13/NFPA-13R): THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. " (903.2)

3. EXCEPTION TO, OR REDUCTION IN BUILDING CODE REQUIREMENTS BASED ON THE INSTALLATION OF AUTOMATIC FIRE EXTINGUISHING SYSTEM IS NOT ALLOWED FOR R OCCUPANCIES (903.2.8, T504.3, T504.4 & T506.2)

4. SHOW THE LOCATION ON THE PLAN I, II OR III STANDPIPE (DRY, WET, COMBINATIO ARE REQUIRED IN THIS BUILDING. (905.3.1)

5. PROVIDE AUTOMATIC SPRINKLER SYSTEM AT TOP OF RUBBISH AND LINEN CHUTE AND IN THEIR TERMINAL ROOM (903.2.11.2)

6. WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET SHALL PROVID AUTOMATIC FIRE EXTINGUISHING SYSTEM OR CLASSIFY ROOM WITH OCCUPANCY COMPLY WITH SEPARATION PER TABLE 509

7. THE TYPE I PARKING STRUCTURE PERMITTED BY SECTION 5 TO 3 IS A STORY (FIRST STORY) AND NOT A BASEMENT. BECAUSE OF THIS, THE STRUCTURE IS 4 STORIES IN HEIGHT AND REQUIRES SPRINKLERS THROUGHOUT (903.2)

RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS. 9. THIS NOTE SHALL APPLY TO ALL NEW BUILDINGS MEETING ANY ONE OF THE FOLLOWING CONDITIONS:

8. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY

a. THERE ARE MORE THAN 3 STORIES ABOVE GRADE PLANE

b. THE TOTAL BUILDING AREA IS 50,000 SF OR MORE c. THE TOTAL BASEMENT OR PARKING IS 10,000 SF OR MORE.

d. ANY BASEMENT OR LEVEL THAT EXTENDS 2 OR MORE

WITH A SOLAR VOLTAIC SYSTEM

BELOW GRADE PLANE e. ANY BUILDING THAT IS 21,000 SF. OR GRETER AND IS EQUIPED

L. BICYCLE PARKING

1. For residential buildings containing more than three dwelling units or more than five

both short and long term shall be provided: ☐ Short-term bicycle parking shall be provided at a rate of one per ten dwelling units

guest rooms, but no less than 2. Provide a minimum of short-term bicycle parking spaces

☐ Long-term bicycle parking shall be provided at a ratio of one per dwelling unit or

long-term bicycle parking spaces room. Provide a minimum of 2. Each bicycle parking space shall be a minimum six feet in length. 3. Bicycle parking installed vertically shall be a minimum of 4 feet deep and 6 feet in

4. For single-tiered bicycle parking, minimum headroom of 7 feet shall be provided. 5. For facilities where two tiers of bicycle parking are installed one above another,

minimum headroom of 4 feet shall be provided for each tier.

6. Bicycle parking spaces shall be separated from automobile parking spaces or aisles by a wall,

7. For long-term bicycle parking:

fence, or curb or by at least five feet of open space marked to prohibit parking.

☐ Shall be secured from the general public, roofed, and enclosed on all sides to

bicycle from inclement weather

☐ Provide a minimum of 18 inches wide stall

☐ Bicycle parking stall shall provide a means of securing the bicycle frame at two

securely anchored rack, except in the case of lockers and commercially operated attended bicycle parking

☐ Individual racks installed side by side to one another within bicycle rooms or bicycle cages that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center

☐ Racks installed parallel to walls shall be a minimum of 30 inches from the wall

8. For short-term bicycle parking:

☐ Provide a minimum of 2 feet wide stall

 \square Racks shall be located outside the building, with exception for existing

 \square Individual racks installed side by side to one another that allow bicycles to be locked

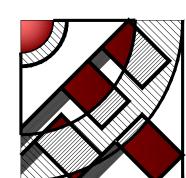
either side of the rack shall be spaces a minimum of 30 inches on center

 \square Racks installed parallel to walls shall be a minimum of 30 inches from the wall ☐ Racks shall allow for the bicycle frame and at least one wheel to be locked to the

☐ The bicycle rack shall allow for the use of a cable as well as a U-shaped lock

☐ Racks shall be securely anchored to a permanent surface

9. Provide adequate lighting to ensure safe access to bicycle parking facilities in accordance with Section 12.21A.5(k).



DESIGN & ENG

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OWNER:

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CONSTRUCTION.

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT:

6506-6510 S MAIN ST. LOS ANGELES.

CA 90003

SHEET TITLE:

GENERAL BUILDING

NOTES

REVISION: NO. DATE

FMI DESIGN & DRAWN:

10.02.21

SHEET

JOB NUMBER:

FIRE NOTES

INTERIOR FINISHES

- 1. Interior wall and ceiling finish shall have a flame spread index greater than that specified in T803.11. Specify interior wall and ceiling finish on plans. (LAFC 803.3). 32- Material, other than foam plastics, used as interior trim shall have a min Class C flame spread and smoke-developed index and shall not exceed 10 % of the wall or ceiling area in which it is attached . (LAFC 804.1).
- 2. Curtains, draperies, fabric hangings, and similar combustible decorative materials suspended from walls or ceilings shall not exceed 10 % of the wall or ceiling area to which such materials are attached. (LAFC 807.3)*
- 3. In every Group A, E, I, R-1, R-2, and R-2.1, all drapes, hangings, curtains, drops, and all other decorative material shall be made from a nonflammable material or treated and maintained in a flame- retardant condition by means of a flame-retardant solution or process approved by the OSFM. (Title 19, Div 1. %3.08. DOORS:
- 1. doors shall be readily operable from the egress side without the use of a key or special
- g. door handles, pulls, latches, locks and other operating
- devices shall be installed 34" min and 48" max above the finished floor
- 2. doors serving rooms or spaces with an occupant load>49 in a group a, e, i-2, or i-2.1 shall provide panic or fire exit hardware. cbc 1010.1.10

STAIRWAYS:

- 1. MIN. CLEAR WIDTH OF 44". (CBC 1011.2).
- 2. Headroom clearance of 280" (CBC 1011.3)
- 3. Riser heights shall be 7" max and 4" min. Tread depths shall be 11" min. [CBC 1011.5.21
- 4. Provide a floor or landing at the top and bottom of each stairway. Width and length of the landing shall not be less than the width of stairway served. (CBC 1011.6)
- Stairways shall be built of materials consistent with the type of construction. (CBC 1011.7)te
- Walls and soffits of enclosed usable spaces under stairways shall be protected by 1-hr fire-resistance-rated construction or the fire-resistance rating of the stairway, whichever is greater The open space under exterior stairways shall not be used for any purpose. (CBC 1011.7.3-4) 5 3 76.
- A flight of stairs shall have a vertical rise s12' between floor landings. (CBC 1011.8)
- 8. Stairs shall have handrails on each side. (CBC 1011.11) One stairway shall extend to the roof surface in buildings >3 stories above grade plane. Access to the roof shall be provided through a penthouse. Where roof hatch opening is located within 10' of the roof edge, access shall be protected by guards. (CBC 1011.12-13)".
- 9. exit sign shall be readily visible from any direction of egress travel exit sign placement shall be such that on point in an exit access corridor or exit passageway is more than 100' from the nearest visible exit sign. (cbc 1013.1).

HANDRAILS:

- height between 34"-38" (cbc 1014.2).
- extend horizontally > 12" beyond the top rinsed and continue to slope for the depth of one tread beyond the bottom riser. (cbc 1014.6).
- Intermediate handrails required such all portions of required width are within 30". (cbc 1014.9).

- required along open-side walking surfaces located > 30" to the floor below. (cbc 1015.2).
- 2. height > 42" cbc 1015.3).
- 3. no openings which allow passage of a sphere 4" in diameter from walking surface to guard height. (cbc 1015.4).
- 4. where roof hatch opening is within 10' of roof edge (cbc 1015.7).

NOTES:

- 1. NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battry backup. (cbc 915.4.2. 2/4)
- 2. NOTE: "In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas for a duration of not <90 min. Emergency lighting facilities shall be arranged to provide initial illumination that is not less than an average of 1 footcandle and a min at any point of 1 footcandle." (CBC 1008.3-5)

I Aisles

- II Corridors
- III. Exit access stairways and ramps
- IV. Interior and exterior exit stairways and ramps V. Exit passageways
- VI. Vestibules and areas on the level of discharge used for exit discharge
- VII Electrical equipment rooms
- VIII. Fire command centers. IX. Fire pump rooms
- X. Generator rooms.
- XI. Public restrooms>300 SF.
- 3. NOTE- 'Provide two-way communication at the landing serving each elevator or bank of elevators above or below the level of exit discharge (CBC 1009.8)*
- 4 Exit signs shall be internally or extern ally illuminated" (CBC 132 013.3)*
- 5. NOTE- Tactile exit signs shall be required at the following locations (CBC 1013.4)
- a. "EXIT sign at each grade-level exterior door
- b. Each exit door that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate:
- i. "EXIT STAIR DOWN ii. EXIT RAMP DOWN
- iii "EXIT STAIR UP
- iv. "EXIT RAMP UP
- c. "EXIT ROUTE" at each exit door that leads directly to a grade- level exterior exit by means of an exit enclosure or an exit passageway.
- d. "EXIT ROUTE" at each exit access door from an interior room
- e. "TO EXIT" at each exit door through a horizontal exit.
- 6. NOTE: "Exit signs shall be illuminated at all times. (CBC 1013.5).

- 7. NOTE: "The face of an exit sign illuminated from an external source shall have an intensity of 25 footcandles." (CBC 1013.6.2) 36)
- 8. NOTE: "In case of primary power loss, the sign illumination means shall be connected to an emergency power system for a duration of not <90 minutes". [CBC 1013.6.3)*
- 9. NOTE: "Provide a sign at each floor landing in an interior exit stairway and ramp connecting 3 stories designating the floor level, the terminus of the top and bottom and the identification of the stairway or ramp. The signaled shall also state the story of, and the direction to, the exit discharge and the availability of roof access for the fire department. The sign shall be located 5' above the floor landing." (CBC 1023.9)
- 10. NOTE: "Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required smoke alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (LAFC 907.2.11.5-6) 9
- 11. Carbon monoxide detection shall be provided in the following ocations: (LAFC 915.1.1):
- a. Dwelling Units:
- i. Outside of each separate sleeping area. ii. Every occupiable level of a dwelling unit.
- iii. Bedrooms where a fuel-burning appliance is located within or its attached bathroom b. Sleeping Units."
- 12 NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (LAFC 915.4.2/4)

GREEN NOTES

- 1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS
- 2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- 3. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(b) THROUGH 110.10(C) SHALL BE PROVIDEDTO THE OCCUPANT.
- 4. MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATE METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.
- 5. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12. SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL
- 6. THE FLOW RATES FOR ALL ALL PLUMBING FIXTURES SHALL COMPLY WIITH MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1"
- 7. BUILDING ON SITE WITH 500 SQUARE FEET OR MORE OF CUMMULATIVE LANDSCAPE AREA
- SHALL HAVE A SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE. 8. a. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBBS.
 - b. FOR ONE AND TWO FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
 - c. FOR SITES WITH OVER 500 SQUARE FEET OF LANDING AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
 - d. WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE.
 - e. BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
 - f. BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH A MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
 - WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGE TO THE SEWER.
 - h. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.2 OR 610.4.1.3
- 9. MATERIALS DELIVERE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OR OTHER SOURCES OF MOISTURE.
- 10. FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE OF FINAL INSPECTION.
- 11. ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT."

12. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4 4.504.3

GENERAL NOTES

- 1. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT ALTERNATE FLOORS AND AT THE LOWEST INTAKE.
- 2. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP
- 3. PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFC 510
- 4. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE AND MIN. AT ANY POINT OF 1 FOOTCANDLE.
- a. AISLES
- b. CORRIDORS
- c. EXIT ACCESS STAIRWAYS AND RAMPS
- d. INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS
- e. VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE
- USED FOR EXIT DISCHARGE
- f. ELECTRICAL EQUIPMENT ROOMS
- g. FIRE COMMAND CENTERS h. FIREPUMPS ROOMS
- i. GENERATOR ROOMS i. PUBLIC RESTROOMS>300 SF
- 5. PROVIDE TWO WAY COMMUNICATION AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE.
- 6. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
- 7. MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPSCE IS OCCUPIED. THE ILLUMINATION
- LEVEL SHALL NOT BE <1 FOOTCANDLE AT THE WALKING SURFACE.
- 8. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
- a. "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR DOOR.
- b. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE
- a. EXIT STAIR DOWN
- b. EXIT RAMP DOWN
- c. EXIT STAIR UP
- d. EXIT RAMP UP c. EXIT ROUTE AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL
- EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY. d. EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
- e. EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
- f. "TO EXIT" AT EACH EXIT DOOR THROUGH HORIZONTAL EXIT
- 9. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- 10. THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF 25 FOOTCANDLES
- 11. IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR DURATION OF NOT <90 MINUTES.
- 12. PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING >3 STORIES DESIGNATING THE FLOOR LEVEL THE TERMINUS OF THE TOP AND BOTTOM AND THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT

DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT.

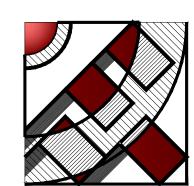
CARBON MONOXIDE

1. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN HTE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP.

THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING.

2. CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

3. BASEMENT AND SLEEPING ROOMS BELOW THE 4TH STORY SHALL HAVE AT LEAST 1 EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPEN TO A PUBLIC WAY.



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