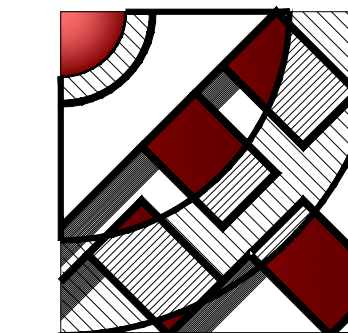


PROPOSED 20-UNITS APARTMENT BUILDING

6506-6510 S MAIN ST,
LOS ANGELES, CA 90003



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND
HILLS, CALIFORNIA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

PROJECT INFORMATION

PROJECT ADDRESS:

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

LEGAL DESCRIPTION:

ASSESSOR PARCEL NO. (APN): 6011001063
TRACT: THE MC CARTHY COMPANY'S GREATER LOS ANGELES TRACT
MAP REFERENCE: M B 9-134/135
LOT: 2,3
MAP SHEET: 105B205
BLOCK: 3
PIN #: 105B205 1261, 105B205 1267

PROJECT OWNER AND ADDRESS:

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PLANNING AND ZONING INFORMATION:

PROPOSED: 100% PRIVATELY FUNDED 20-UNITS 3-STORY
OVER PARKING / BASEMENT APARTMENT BUILDING
ZONING: [Q]C2-1
LOT AREA: 5,200.4 SQ. FT.+5,200.3 SQ. FT.=10,400.7
ALLOWABLE HEIGHT: 45 FEET

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES
APPLICABLE CODES: 2017 LOS ANGELES BUILDING CODE (LABC)
GROUP OF OCCUPANCY: R-2/S-2
TYPE OF CONSTRUCTION: TYPE V-A
SPRINKLER: YES / NFPA 13 SPRINKLER
BUILDING RATE: ONE HR. RATED
EXTERIOR WALLS: ONE HR. RATED

BUILDING SUMMARY:

PROJECT INFORMATION: 20-UNITS 3-STORY APARTMENT BUILDING OVER PARKING /
BASEMENT TOTAL OF 4-STORY
18 UNITS : 2+2 - 2 UNITS : 1+1
REC RM. 1
(100% PRIVET FUNDING)
(NOT A PUBLIC HOUSING)
(NO TAX CREDIT RECEIVED)

PARKING SUMMARY PER TOC (TIER 1):

REQUIRED AUTOMOBILE PARKING :
REQUIRED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1
(18- 2 BED UNITS) +(2-1 BED UNITS) = 38 BED ROOMS / 38 X 0.5= 19 PARKING SPACES
REQUIRED 1 AUTOMOBILE PARKING PER 500 SQF.
700 SQF. / 500 SQF. = 2 PARKING SPACES
TOTAL PARKING REQUIRED : 21 PARKING SPACES

REQUIRED BICYCLE PARKING :

REQUIRED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS (MIN. 2
PARKING) SHORT TERM.
LONG TERM BICYCLE: 20
SHORT TERM BICYCLE: 2
COMMERCIAL BICYCLE: 2
SUBTOTAL: 24 BICYCLE PARKING

PROPOSED AUTOMOBILE PARKING:

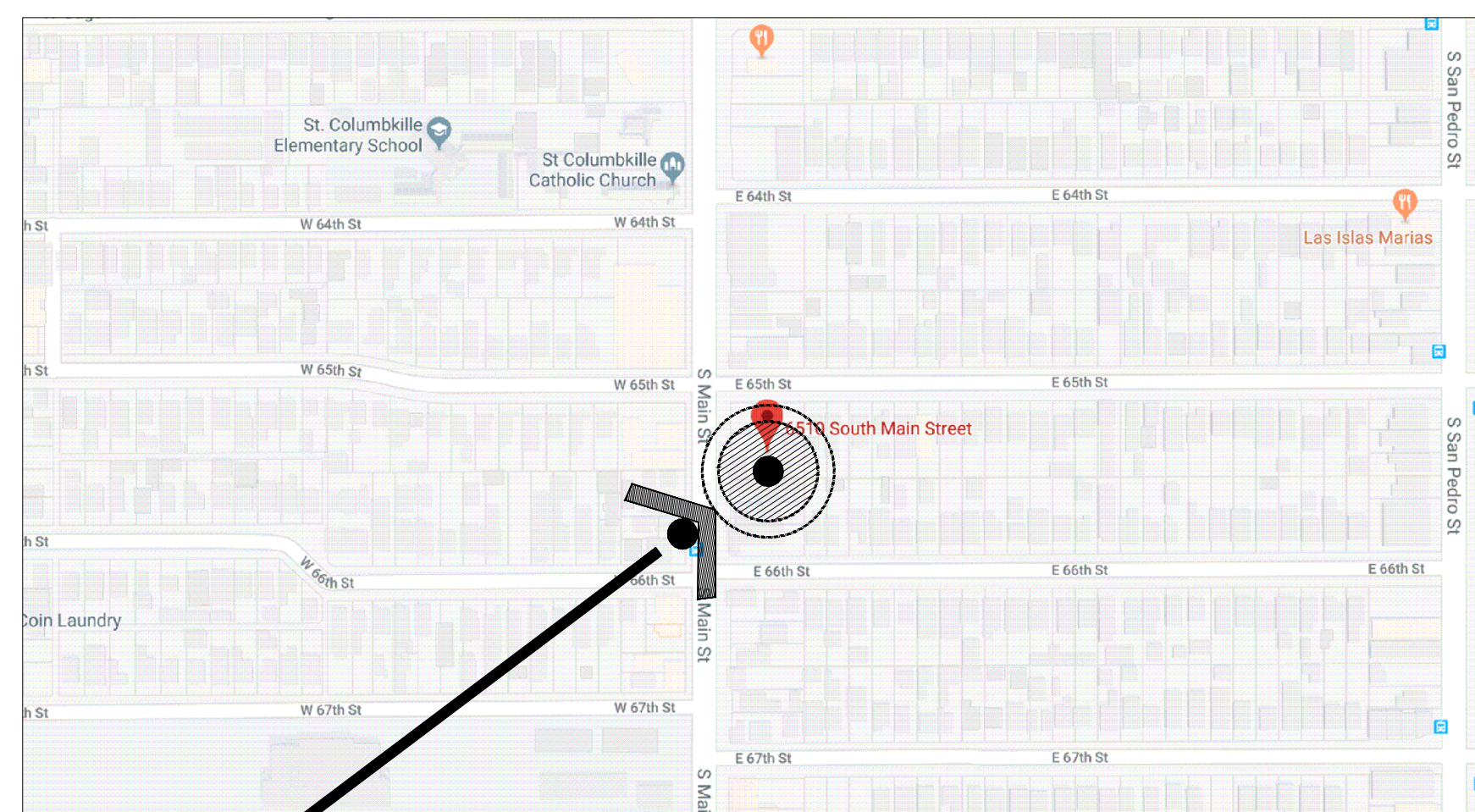
PROPOSED 0.5 PARKING PER BEDROOM. PER TOC TIER1
(18x2 BED UNITS)+(2x1 BED UNITS)= 38 BEDROOMS / 38 X 0.5= 19 PARKING SPACES
1 AUTOMOBILE PARKING PER 500 SQF. 700 SQF. / 500 SQF. = 2 PARKING SPACES
EV 2 PARKING
ADA 2 PARKING
STANDARD 17 PARKING

PROPOSED BICYCLE PARKING :

PROPOSED 1 PARKING PER UNIT LONG TERM AND 1 PARKING PER 10 UNITS SHORT TERM.
LONG-TERM BICYCLE 24 PARKING
SHORT-TERM BICYCLE 2 PARKING
PROPOSED 26 BICYCLE PARKING
SUBTOTAL: 21 AUTOMOBILE AND 26 BICYCLE PARKING



VICINITY MAP



6506-6510 S MAIN ST, LOS ANGELES
CA 90003

NOTES

CODE:

- 2017 LOS ANGELES BUILDING CODE (LABC) BASED ON 2017 CALIFORNIA BUILDING CODE (CBC),
GRN, PLUMBING, MECHANICAL, ELECTRICAL & ENERGY CODES ARE APPLICABLE IN THIS PROJECT.
- AN AUTOMATIC NFPA-13 SPRINKLER SYSTEM SHALL BE INSTALLED THROUGHOUT
THE BUILDING. (LAFD 903.2.1-903.2.19. (UNDER SEPARATE PERMIT)
- THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM
COMPLYING WITH (NFPA-13). THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DVI.
PRIOR TO INSTALLATION.
- APPROVED MANUAL FIRE ALARM SYSTEM SHALL BE PROVIDED THROUGHOUT BUILDING IN
ACCORDANCE WITH LAFD . (907.2.9, 907.5.2,3,4) (UNDER SEPARATE PERMIT)
- THIS BUILDING :
IS 100% PRIVATELY FUNDED.
NOT A PUBLIC HOUSING.
NOT TAX CREDIT RECEIVED.
- PRIOR TO FINALIZING THE NUMBERING OF ALL THE FLOOR, STAIRS, ELEVATORS, AND FIRE
ALARM ANNUCIATOR, A JOB WALK OR JOB MEETING WITH THE FIRE INSPECTOR IS
REQUIRED.

[Q] Conditions:

a. No building or structure shall exceed three stories or 45 feet in height.
b. Residential development shall be limited to the density of the R3 Zone.

INDEX OF DRAWINGS

SHEET	TITLE	SHEET	TITLE
A-0.0 A-0.1	COVER SHEET	T-1	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-1.0	TOPOGRAPHY	T-2	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-1.1	SITE PLAN	T-3	CF-1R, MF-1R & MANDATORY REQUIREMENTS
G-1.0 G-1.1	GRADING PLANS	T-4	CF-1R, MF-1R & MANDATORY REQUIREMENTS
A-2.0	FIRST FLOOR PLAN	S-0.1	GENERAL NOTES
A-2.1	SECOND FLOOR PLAN	S-1	TYPICAL DETAILS I
A-2.2	THIRD FLOOR PLAN	S-2	TYPICAL DETAILS II
A-2.3	FOURTH FLOOR PLAN	S-3	CONCRETE DETAILS
A-2.4	ROOF PLAN	S-4	ROOF FRAMING / SRCOND FLOOR WALL PLAN
A-2.5 - A-2.11	LAYOUT PLANS	S-5	SECOND FLOOR FRAMING / FIRST FLOOR WALL PLAN
A-3.0	ELEVATIONS	S-6	1ST FL CONCRETE SLAB AND ANCHORAGE PLAN
A-3.1	ELEVATIONS	S-7	FOUNDATION PLAN
A-4.0	SECTIONS	S-8	PARING WALLS PLAN
A-5.0	DOORS & WINDOWS SCHEDULE	S-9	CONCRETE SLAB
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AD-1 - AD-2	ARCHITECTURAL DETAILS	S-11	CONCRETE SLAB
N-1.0 N-1.1	GENERAL NOTES	S-12	CONCRETE SLAB
N-1.2	SOIL APPROVAL		
N-2.0 - N-2.5	ACCESSIBILITY NOTE AND DETAILS		
N-2.6 - N-2.9	ACCESSIBILITY NOTES PLAN REVIEW LIST		

ATTACHMENT "A"

Attachment "A"
(7-30-99)
Job Address 6506-6510 S MAIN ST, LOS ANGELES, CA 90003 Permit # 18010 - 20000 - 02713

DEPARTMENT OF BUILDING AND SAFETY Minimum Requirements for Construction Projects/ Certification Statement

The following is intended as an attachment to the construction/grading plans and represent the minimum standards
of good housekeeping which must be implemented on all sites as Development Construction Projects.

Development Construction Projects are defined as projects where there is less than two acres of disturbed soil, not
located in designate hillside areas, and not in or adjacent to an environmental sensitive areas. Note: A project in a
designated hillside area with less than two acres of disturbed soil and not in or adjacent to an environmenta sensitive
areas may be classified as a Development Construction Project if the Grading Pre-Inspection (GPI) is not required
or the entire lot has a slope of ten percent or less.

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via
sheetflow, swales, area drains, natural drainage course or wind.
- Stockpiles of earth and other construction-related materials must be protected from being transported from
site by wind or water
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to
contaminate the soil nor the surface waters. All approved storage containers are to be protected from the
weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be
washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions
shall be made to retain concrete waste on-site until they can be disposed of as solid waste.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent
contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance
roadways must be stabilized so as to inhibit sediments from being deposited into public ways. Accidental
depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above,
necessary to control stormwater pollution from sediments, erosion, and construction materials, and I certify that I
will comply with these requirements.

Print name _____
(Owner or authorized agent of the owner)

Signature _____ Date _____
(Owner or authorized agent of the owner)

PROJECT DIRECTORY

DESIGN BY :

NAME : FMI DESIGN, ENGINEERING & CONSTRUCTION
ADD : 19730 VENTURA BLVD., #5
WOODLAND HILLS, CA 91364
TEL : (818) 231-8475
FAX : (818) 932-0419
E-MAIL : yaggh@aol.com

STRUCTURAL ENGINEER :

NAME : ZHANG YUAN NI
ph.d., p.e.
ADD : 8823 GARVEY AVE #B 1/2
ROSEMEAD, CA 91770
TEL : (626) 298-1828
FAX : (626) 571-4040
E-MAIL : zyniengineering@gmail.com

ENERGY CONSULTANT :

NAME : PERFECT DESIGN & ENGINEERING, INC.
ADD : 2416 W. VALLEY BLVD.
ALHAMBRA, CA 91803
TEL : (626) 289-8808
FAX : (626) 289-4913
E-MAIL : PERFECTAAA@aol.com

SOIL ENGINEER :

NAME : PETER PAULIAN, ASSOCIATE ENGINEER
ADVANCED GEOTECHNIQUES
ADD : 3467 OCEAN VIEW BOULEVARD, SUITE C
GLENDALE, CALIFORNIA 91208
TEL : 818-549-0330
FAX : (626) 289-0330
E-MAIL : WEB: WWW.GEOTECHNIQ.COM

SURVEYOR :

NAME : MOLAI LAND & DESIGN
ADD : 24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
TEL : 818-325-9225
FAX : (626) 289-9225
E-MAIL : MOLAI22@YAHOO.COM

LANDSCAPE ARCHITECT :

NAME :
ADD :
TEL :
FAX :
E-MAIL :

ELECTRICAL ENGINEER :

NAME :
ADD :
TEL :
FAX :
E-MAIL :

MECHANICAL ENGINEER :

NAME :
ADD :
TEL :
FAX :
E-MAIL :

GEOTECHNICAL ENGINEER :

NAME :
ADD :
TEL :
FAX :
E-MAIL :

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AND EXISTING CONDITIONS. THESE PLANS ARE
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AS INSTRUMENTS OF SERVICE BY THE CLIENT.
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CONSTRUCTION.

OWNER :

RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

COVER SHEET

REVISION:

NO.	DATE	BY
-	-	-

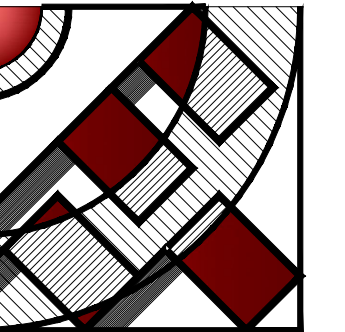
SCALE: -
DESIGN & DRAWN: FMI
DATE: 10.02.21

JOB NUMBER:

SHEET

A-0.0

PROJECT INFORMATION



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMOSHIE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

REVISION:

NO. DATE BY

SCALE: -

DESIGN & DRAWN: FMI

DATE: 10.02.21

JOB NUMBER:

SHEET

A-0.1

PARKING SUMMARY

AUTOMOBILE PARKING

REQUIRED PARKING SPACES			
UNIT/NO. OF BED RM.	REQUIRED PARKING TOC PER BED RM. (TIER1)	NUMBER OF UNITS	NUMBER OF PARKING
2 BED ROOM UNIT	0.5	18 UNITS	18
1 BED ROOM UNIT	0.5	2 UNITS	1
COMMERCIAL	1 PARKING PER 500 SQF.	700 SQF.	2
TOTAL			21

PROPOSED HALF A AUTOMOBILE PARKING PER BEDROOM, PER TIER1
18 UNITS - 2 BEDROOM = 18 BEDROOMS - 2 UNITS - 1 BEDROOM = 2 BEDROOMS
38 BEDROOM X 0.5 PARKING = 19 PARKING SPACES.
1 PARKING PER 500 SQF. COMMERCIAL = 2 PARKING SPACES.
REQUIRED PARKING SPACES = 21

PROPOSED PARKING					
LOCATION	NUMBER OF PARKING				TOTAL
	H/C	E/V	STD.	COMPACT	
FIRST FLOOR	2	2	18	0	22
TOTAL:	22 AUTOMOBILE PARKING				

PROPOSED 22 PARKING SPACES (NO GUEST PARKING)

BICYCLE PARKING

REQUIRED PARKING	
LONG-TERM	SHORT-TERM
ONE PER UNIT = 20	ONE PER 10 UNITS (MIN. 2) = 2
TOTAL	22 BICYCLE PARKING

PROPOSED PARKING	
LONG-TERM	SHORT-TERM
24	2
PROPOSED 26 BICYCLE PARKING	
TOTAL	26 BICYCLE PARKING

AREA CALCULATION SUMMARY

PARKING AREA CALCULATION

PARKING AREA	
SPACE	TOTAL sq. ft.
PARKING	5,741.78
BICYCLE PARKING	208.44
TRASH ROOM	129.20
STAIRCASE	288
MECHANICAL RM.	57.50
DRIVEWAY	3,298.60
LOBBY	77.38
ELEVATOR	86.90
EXTERIOR WALLS	274.31
TOTAL	10,162.11

UNITS AREA CALCULATION

FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
REC RM.	681.50	23.30	—	658.20	—	—
UNIT- 201 (2+2)	904.50	30.00	—	874.50	—	—
UNIT- 202 (2+2)	883.10	19.60	—	863.50	—	—
UNIT- 203 (2+2)	863.50	30.40	—	833.10	—	—
UNIT- 204 (2+2)	903.60	11.70	—	891.90	—	—
UNIT- 205 (2+2)	843.10	29.70	—	813.40	—	—
UNIT- 206 (2+2)	980.70	17.90	—	895.40	52.20	—
2ND FLOOR TOTAL	6,060.00	162.60	—	5,832.0	52.20	—
FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
UNIT- 301 (2+2)	681.50	23.30	—	658.20	—	—
UNIT- 302 (2+2)	904.50	30.00	—	874.50	—	—
UNIT- 303 (2+2)	883.10	19.60	—	863.50	—	—
UNIT- 304 (2+2)	863.50	30.40	—	833.10	—	—
UNIT- 305 (2+2)	903.60	11.70	—	891.90	—	—
UNIT- 306 (2+2)	843.10	29.70	—	813.40	—	—
UNIT- 307 (2+2)	980.70	17.90	—	962.80	52.20	—
3RD FLOOR TOTAL	6,060.00	162.60	—	5,897.40	52.20	—
FLOORS	UNITS AREA CALCULATION					
	LIVING AREA				OPEN SPACE	
	GROSS sq. ft.	EXTERIOR WALLS sq. ft.	STAIRS sq. ft.	NET AREA sq. ft.	BALCONY sq. ft.	DECK sq. ft.
UNIT- 401 (2+2)	681.50	23.30	—	658.20	—	—
UNIT- 402 (2+2)	904.50	30.00	—	874.50	—	—
UNIT- 403 (2+2)	883.10	19.60	—	863.50	—	—
UNIT- 404 (2+2)	863.50	30.40	—	833.10	—	—
UNIT- 405 (2+2)	903.60	11.70	—	891.90	—	—
UNIT- 406 (2+2)	843.10	29.70	—	813.40	—	—
UNIT- 407 (2+2)	980.70	17.90	—	962.80	52.20	—
4TH FLOOR TOTAL	6,060.00	162.60	—	5,897.40	52.20	—
TOTAL	18,180.00	487.80	—	17,626.80	156.60	—

OCCUPANCY LOAD SUMMARY

OCCUPANCY LOAD			
SPACE	TOTAL sq. ft.	FLOOR AREA IN SQ.FT. PER OCCUPANT	OCCUPANCY LOAD PER FLOOR
2ND FLOOR	6,393.80	1/200	32
REC. RM.	681.50	1/15	46
3RD FLOOR	7,075.30	1/200	36
4RD FLOOR	7,075.30	1/200	36
COURTYARD	468.0	1/15	32
ROOF DECK	1,282.00	1/15	86
1ST. FLOOR	10165.00	1/200	50
EXIT SUMMARY			
MIN. REQUIRED NO. OF OCCUPANTS WITH 2 EXIT: 11-500			
2ND FLOOR OCCUPANTS LOAD : 32 PROVIDED EXITS: 2			
3RD FLOOR OCCUPANTS LOAD : 36 PROVIDED EXITS: 2			
RE. RM. OCCUPANTS LOAD : 46 PROVIDED EXITS: 2			
4TH FLOOR OCCUPANTS LOAD : 36 PROVIDED EXITS: 2			
COURTYARD OCCUPANTS LOAD : 32 PROVIDED EXITS: 2			
ROOF DECK OCCUPANTS LOAD : 86 PROVIDED EXITS: 2			
1ST. FLOOR OCCUPANTS LOAD : 51 PROVIDED EXITS: 2			

FLOOR AREA RATIO

FAR	
SPACE	TOTAL sq. ft.
LOT AREA	10,400.70
1ST FLOOR (BASEMENT) LOBBY	365.40
2ND FLOOR	7,075.30
3RD FLOOR	7,075.30
4RD FLOOR	7,075.30
TOTAL FLOOR AREA	21,695.90
BUILDABLE AREA	8,050.00

FAR BY RIGHT = 1.5:1 PER C ZONE / FAR BY TIER1 = 2.75:1
BY RIGHT= 8,050.00 X 1.5 = 12,075.00
BY TIR 1= 8,050.00 X 2.75 = 22,137.00 > 21,695.90

FLOORS' AREA CALCULATION

FLOOR AREA CALCULATION PER BUILDING CODE ZONING CODE	A	B	C	D	CALC. A-(B+C+D)	E	CALC. A-(B+E)
	GROSS AREA OF BUILDING sq. ft.	EXTERIOR WALLS sq. ft.	CORRIDORS, HALLWAYS, LOBBY	AREA OF OPEN SHAFTS, & VENTS sq. ft.	BUILDING CODE AREA sq. ft.	AREA OF STAIRWAYS, SHAFTS, MECH.	ZONING AREA sq. ft.
2ND FLOOR	7,075.30	179.00	785.50	86.90	6,023.90	288	6,608.30
3RD FLOOR	7,075.30	179.00	707.50	86.90	6,101.90	288	6,608.30
4RD FLOOR	7,075.30	179.00	707.50	86.90	6,101.90	288	6,608.30
TOTAL	21,225.90	537.00	2,200.50	260.70	18,227.70	864.00	19,824.90

OPEN SPACE SUMMARY

REQUIRED OPEN SPACE				PROPOSED OPEN SPACE				
UNIT BY NO. OF BED.	REQUIRED OPEN SPACE PER UNIT (SQ. FT.)	NO. OF UNITS	TOTAL REQUIRED OPEN SPACE (SQ. FT.)	SPACE	LOCATED AT	AREA OF OPEN SPACE (SQ. FT.)		
ONE BED. UNIT (> 3 HABITABLE RM.)	100.00	2	200	A	REAR YARD	-		
TWO BED. UNIT (= 3 HABITABLE RM.)	125.00	18	2,250.00	B	2ND FLOOR (COURTYARD)	468.00		
THREE BED. UNIT (< 3 HABITABLE RM.)	175.00	-	-	C	3RD FLOOR	-		
TOTAL	—	20	2,450.00	D	4TH FLOOR	-		
				E	REC. RM.	600.00		
				F	ROOF DECK	1,282.00		
				G	BALCONY	150.00		
				BALCONIES	4-STORY OVER BASEMENT PARKING BLDG.	NO. OF BALCONIES IN PARKING	-	
						NO. OF BALCONIES ON 1ST. FL.	1	50.00
						NO. OF BALCONIES ON 2nd. FL.	1	50.00
					NO. OF BALCONIES ON 3rd. FL.	1	50.00	
				TOTAL	B+E+F+G	2,500.00		

LEGAL DESCRIPTION

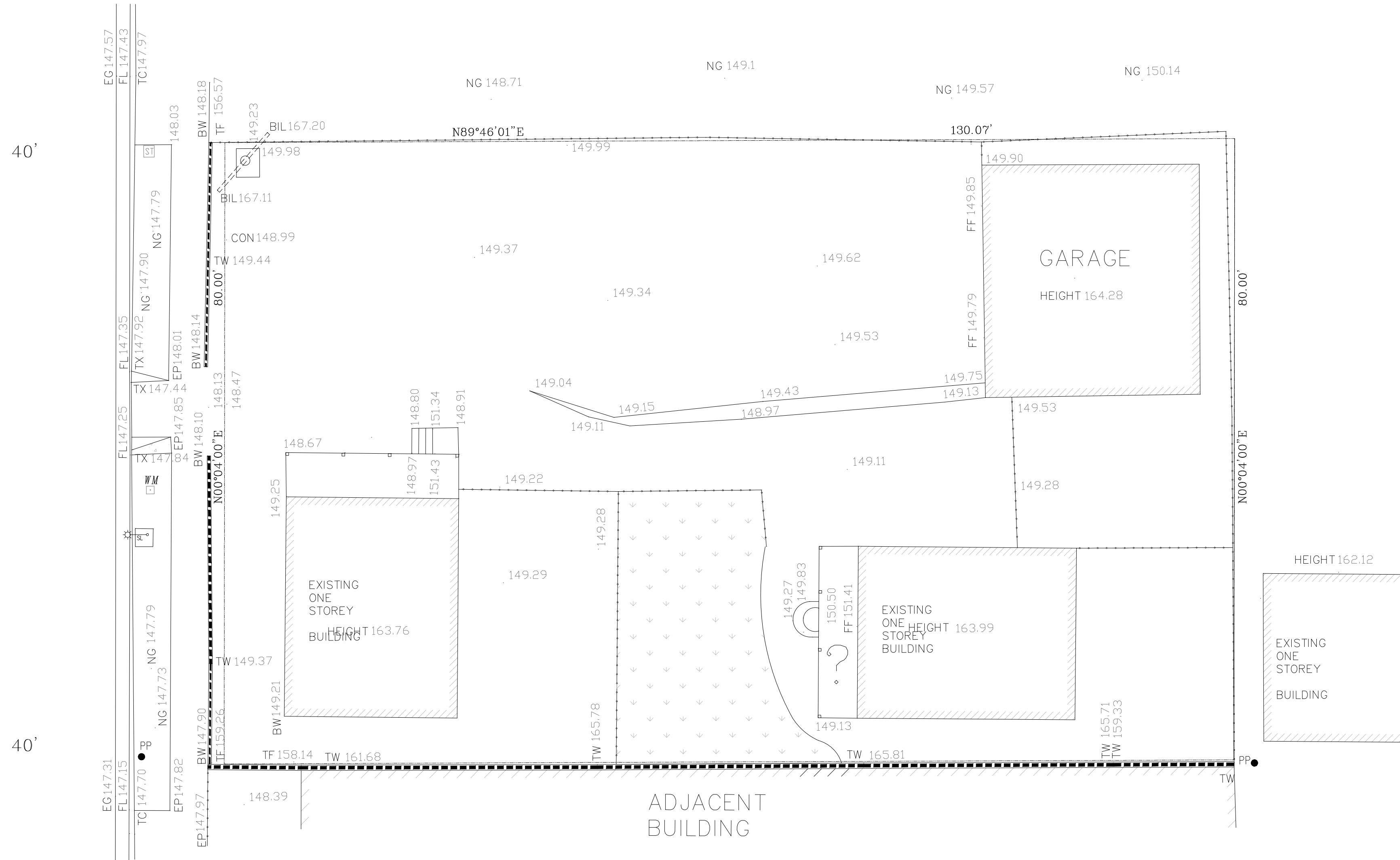
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 2 AND 3, BLOCK 3, THE MCCARTHY COMPANY'S GREATER LOS ANGELES TRACT, IN THE CITY OF LOS ANGELES, BOOK 9, PAGE 134 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER.

LEGEND			
WM □	WATER METER	BOUNDARY LINE	
EM □	ELECTRIC METER	12" ○	TREE
WH □	WATER HEATER	▬▬▬	CONC. BLOCK WALL
PP ●	POWER POLE	▬▬▬	BRICK WALL
⊕	STREET LIGHT BOX	+	SPOT ELEVATION
→	POWER POLE ANCHOR	---	IRON FENCE
CF	CURB FACE	- - - -	CHAINLINK FENCE
DWY	DRIVEWAY	▬▬▬	WOOD FENCE
C/L	CENTER LINE	▬▬▬	CONCRETE PATTERN
SL	STREET LIGHT	▬▬▬	BRICK PATTERN

SOUTH MAIN STREET

C/L



TOPOGRAPHIC SURVEY

PREPARED FOR:
LEONARD YAGHOUBI
818-231-8475

NOTES:
1. THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA
2. MISC. DATA
TOTAL PROPERTY AREA: 10405 SQ.FT.

BENCH MARK:
FD WIRE SPIKE IN E CURB MAIN ST
5FT N OF 65TH STREET.
Bench Mark: 18-04650
ELEVATION=148.44'

No.	Revision/Issue	Date

Firm Name and Address

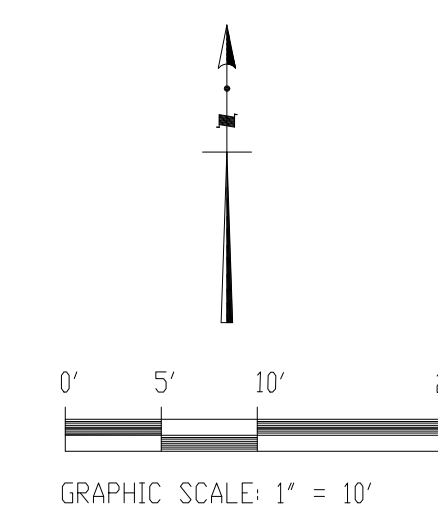
MOLAI LAND & DESIGN
24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
818-325-9225
MOLAI22@YAHOO.COM

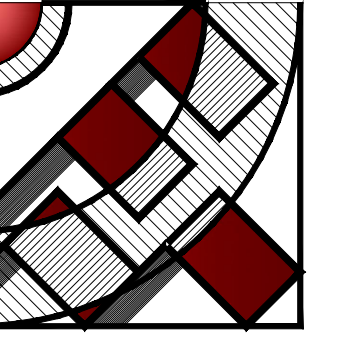
Project Name and Address

6510 SOUTH MAIN STREET
LOS ANGELES, CA. 90003

A-1.0

Project	3325	Sheet	1 OF 1
Date	03-31-2018		
Scale	1" = 10'		





FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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CONSTRUCTION.

OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

SITE PLAN

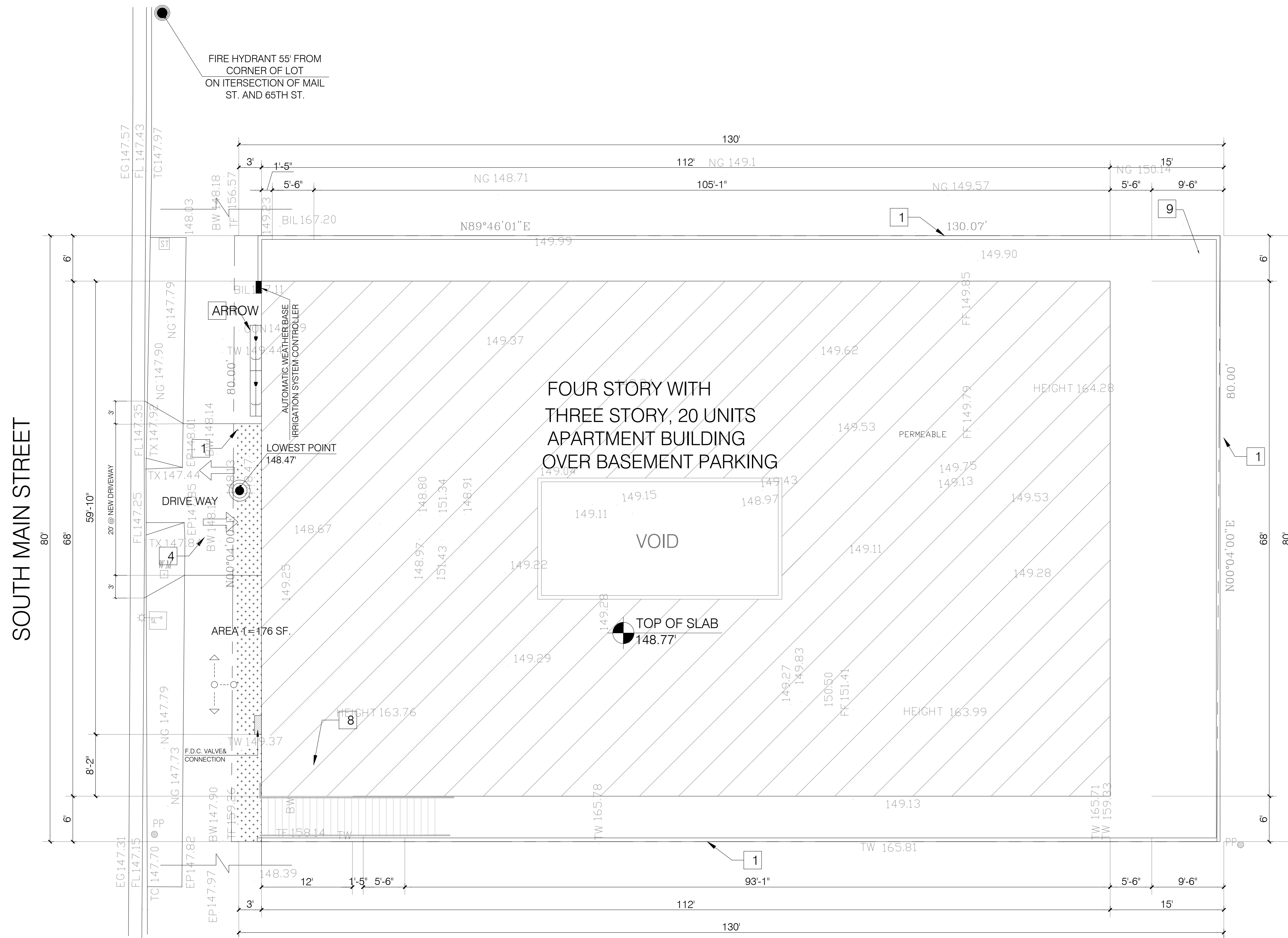
REVISION:

NO.	DATE	BY
-	-	-

SCALE:	1/8" = 1'-0"
DESIGN & DRAWN:	FMI
DATE:	10.02.21
JOB NUMBER:	

SHEET

A-1.1



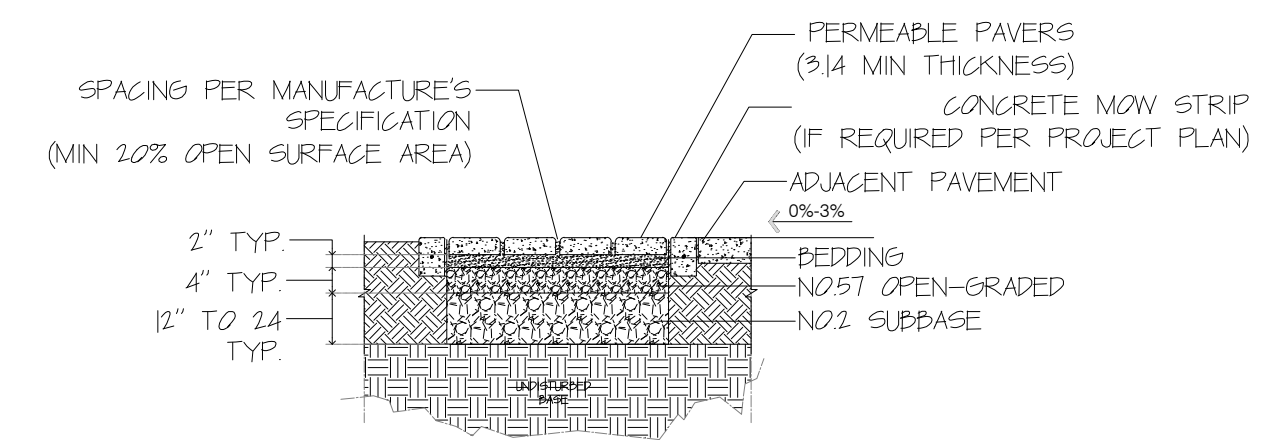
COMPUTATION :

HARDSCAPE :
116 + 79 = 195 SF.

PERMEABLE PAVEMENT:
AREA 1=577 SF.
AREA 2=511 SF.
AREA 3=1,085 SF.
TOTAL = 2,173 SF.

LANDSCAPE :
= 176 SF.

TOTAL = 2,173 + 195 = 2,368
2,368 x 0.25 = 592 SF
592 > 176



- NOTES:
- 1- SITE SOILS SHALL HAVE ADEQUATE DRAINAGE (AT LEAST 1/8" INCHES PER FOOT).
 - 2- INFILTRATION SHALL NOT CAUSE GEOTECHNICAL HAZARDS RELATED TO EXPANSIVE SOIL MOVEMENT, TUNNEL EROSION, OR SLOPE STABILITY.
 - 3- IF INFILTRATION HAZARDS ARE A CONCERN, AN UNDERDRAIN SHALL BE INSTALLED TO DRAIN WATER. SEE OTHER DRAIN PLAN OR DRAIN MAP. VENTILATION SHALL BE PROVIDED WITH IMPERMEABLE LAYER AND UNDERDRAIN VENTED TO PVE.
 - 4- ANY OVERFLOW SHALL BE PROVIDED FOR PURSUANT TO ENGINEERING AND BUILDING & SAFETY REQUIREMENTS.
 - 5- SLOPE IS NOT GREATER THAN 5 PERCENT.
 - 6- RUNS PROVIDED TO PERMEABLE PAVEMENT SHALL BE CONCENTRATED SO AS NOT TO BE CONCENTRATED AT A SMALL AREA OF PAVEMENT.
 - 7- PRE-FABRICATED PRODUCTS HAVE BEEN INSTALLED PER ALL APPROPRIATE MANUFACTURER'S SPECIFICATION. IF REQUIRED, SUB-DRAINAGE SOIL SHALL BE COMPACTED IN ACCORDANCE WITH PRODUCT INSTALLATION SPECIFICATION.

SITE PLAN
SCALE: 1/8" = 1'-0"

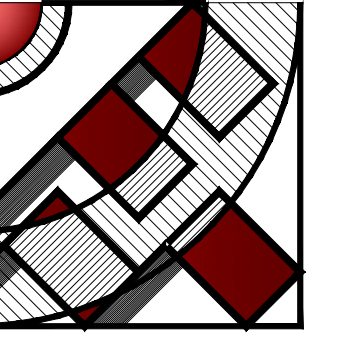
LANDSCAPE SUMMARY
FRONT YARD: 65 SQ.FT.
COURTYARD: 117 SQ.FT.
ROOF DECK: 315 SQ.FT.
TOTAL LANDSCAPE AREA: 497 SQ.FT.

SITE PLAN KEY NOTES

- 1 PROPERTY LINE
- 2 PERMEABLE PAVEMENT
- 3 LANDSCAPE
- 4 DRIVEWAY
- 5 BICYCLE PARKING (SHORT-TERM)
- 6 SIDEWALK
- 7 PATH OF TRAVEL
- 8 TRANSFORMER PAD

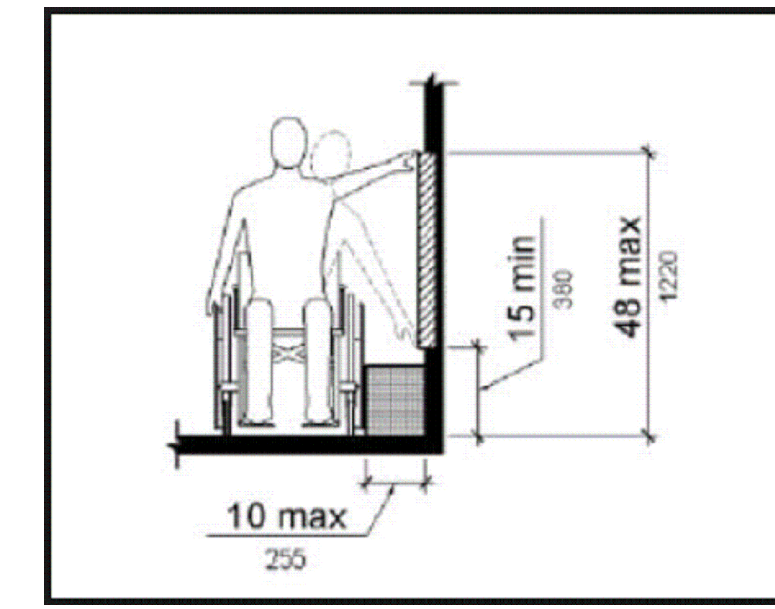
9 HARDSCAPE W/ AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30

1 PERMEABLE PAVEMENT



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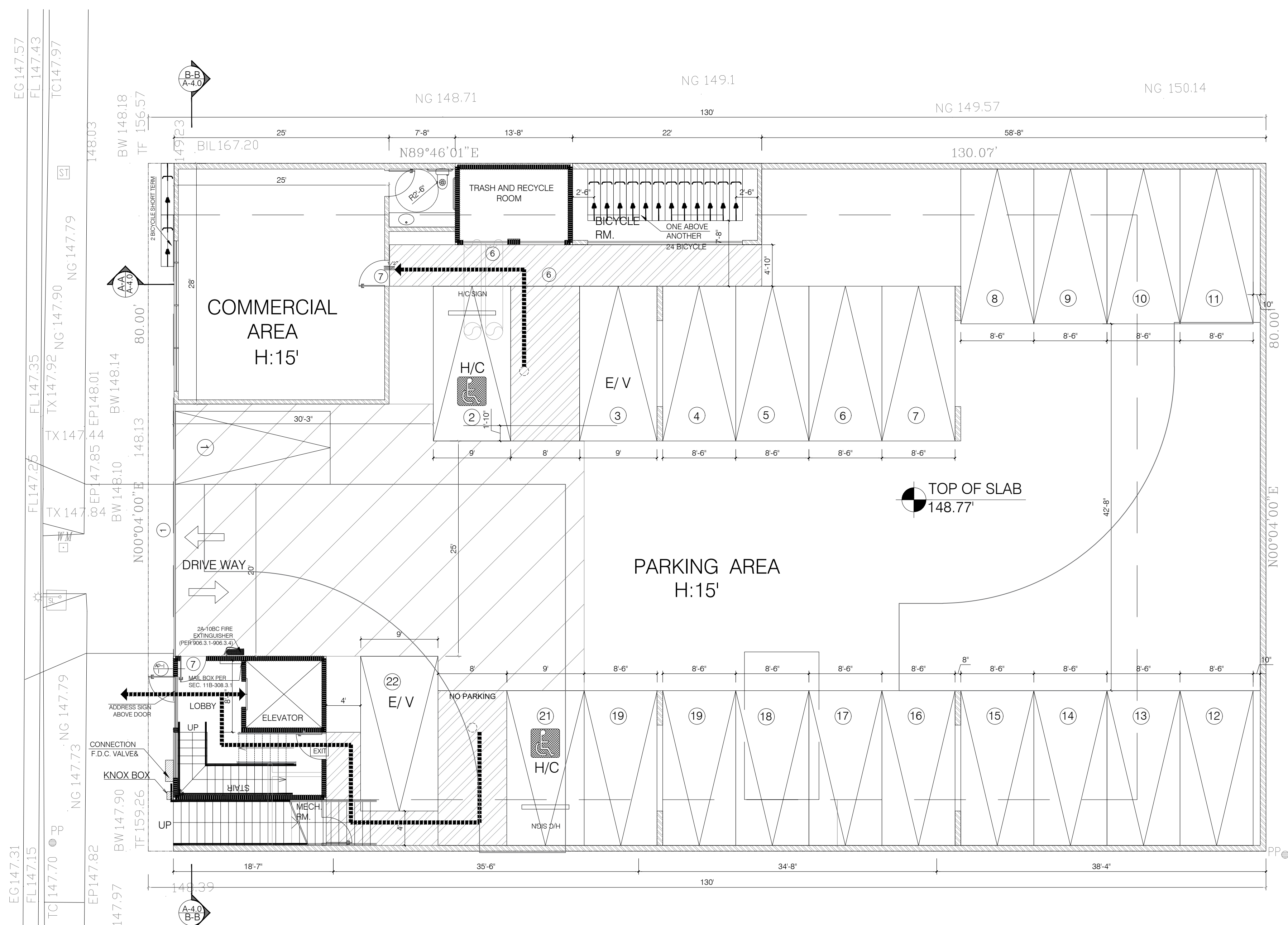
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WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419



UNOBSTRUCTED SIDE REACH MAILBOX DETAIL.

20 UNITS
22 STANDARD PARKING
24 LONG TERM BICYCLE PARKING
2 SHORT TERM BICYCLE PARKING

PERMEABLE PAVEMENT AREA:
AREA 1=522 SF.
AREA 2=840 SF.
AREA 3=275 SF.
AREA 4=73 SF.
AREA 5=540 SF.
TOTAL= 2,250 SF.
LANDSCAPE AREA:
AREA 1=179 SF.
AREA 2=143 SF.
AREA 3=313 SF.
AREA 4=136 SF.
TOTAL= 771 SF.
HARDSCAPE AREA:
HARDSCAPE =127 + 123 = 250 SF.
TOTAL=2,250 SF. + 250 = 2,500 SF.
2,500 SF. x 0.25 = 625 SF. - REOD
TOTAL LANDSCAPE AREA PROVIDED = 771 SF.
OK.



EV PARKING SUMMARY:
REQUIRED: 5% OF TOTAL NUMBER OF PARKINGS. (NOT LESS THAN ONE). 20 x 0.05 = 1
PROPOSED: ONE PARING

GRN NOTES:
g. sufficient capacity to simultaneously charge all
Add note to plans: "The electrical system shall have designated EV spaces at the full rated amperage of the h. circuit directory shall identify the overcurrent Add note to plans: "The service panel or subpanel is required."
minimum branch circuit. A separate electrical permit EVSE. Plan design shall be based upon a 40-ampere protective device space(s) reserved for future EV charging purposes as EV CAPABLE in accordance with the Los Angeles Electrical Code."
11. Add note to plans: "A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant."
(Energy Code §110.10(d))
18. Add note to plans: "For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval."
(State Assembly Bill No. 1881)

NOTES:
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
- USABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STAIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVING, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.
GRN NOTES:
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE CONTROLLED BY A HUMIDITY CONTROL.

- LEGEND :
- WALL
 - ONE HOUR RATED STC 50 (EXTERIOR WALL)
 - ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
 - TWO HOUR RATED (SHAFT WALL)
 - TWO HOUR RATED (CONCRETE BLOCK WALL)
 - TWO HOUR RATED WALL
 - PROPERTY LINE
 - HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
 - MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - GROUND- FAULT CIRCUIT-INTERUPTER
 - TEMPERED GLASS
 - OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
 - CARBON MONOXIDE DETECTOR
 - 48"
 - 30"
 - 48'X30' CLEAR FLOOR SPACE

FIRST FLOOR PLAN

SCALE: 1/8"= 1'-0"

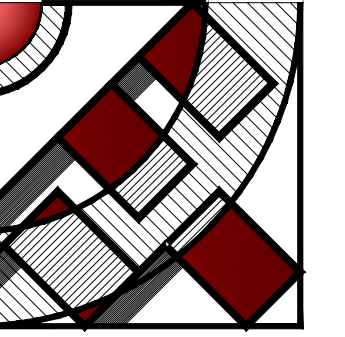
FIRE EXTINGUISHERS
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED. (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).
W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

OWNER :
RAMI BEMMOSHE
4615 WINNETKA CIR, WOODLAND HILLS, CA 91364
PROJECT :
6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:
FIRST FLOOR PLAN

REVISION:		
NO.	DATE	BY

SCALE: 1/8"= 1'-0"
DESIGN & DRAWN: FMI
DATE: 10.02.21
JOB NUMBER:
SHEET



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CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS CA 91364
TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

SECOND FLOOR PLAN

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8" = 1'-0"

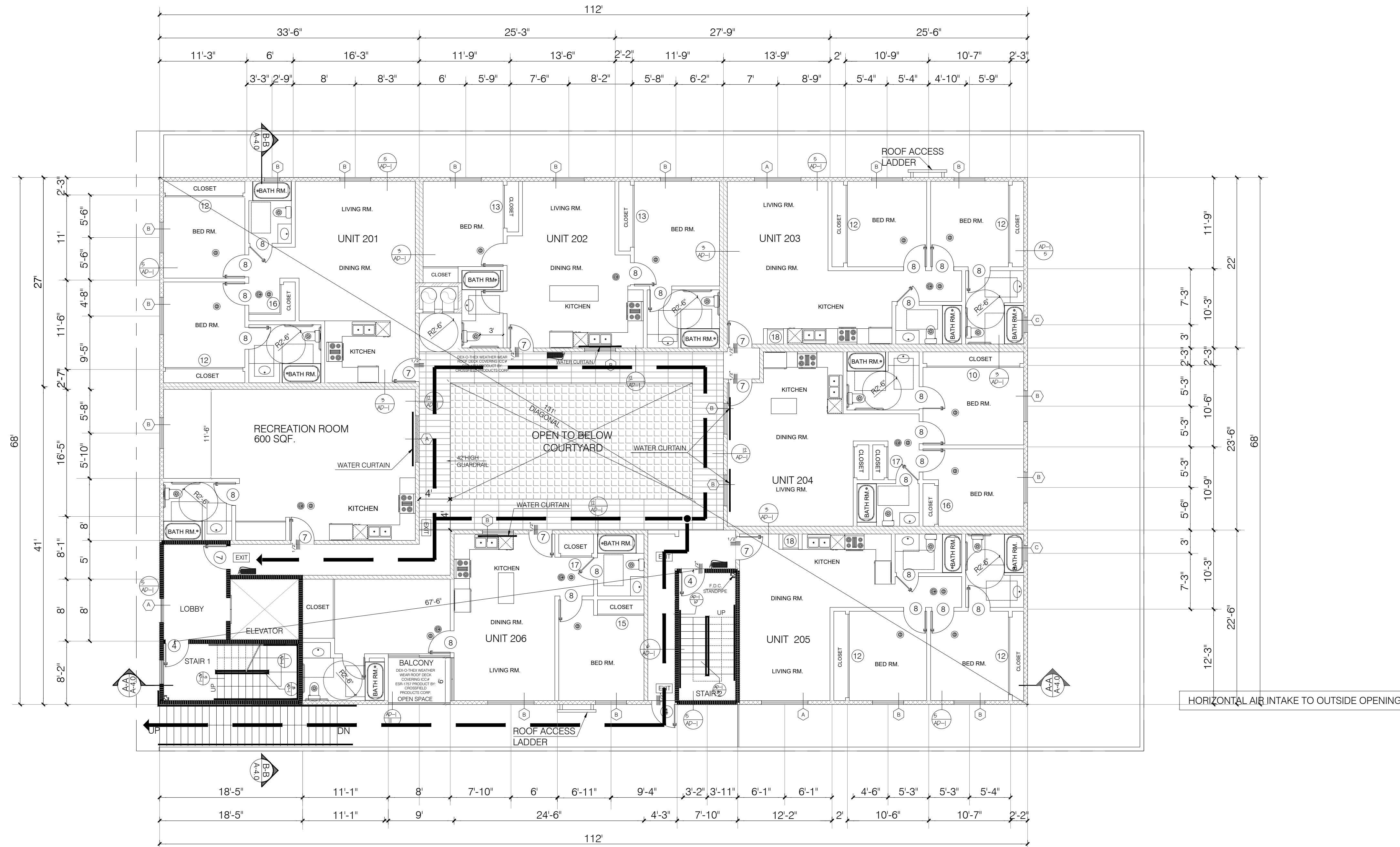
DESIGN & DRAWN: FMI

DATE: 10.02.21

JOB NUMBER:

SHEET

A-2.1



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

FIRE EXTINGUISHERS

- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

EXIT ACCESS

- EXIT ACCESS DOORWAYS, STAIRWAYS OR RAMPS SHALL BE PLACED A DISTANCE APART > (L) THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA TO BE SERVED (CBC 1007.1.1) ALLOWABLE: 131' / 2 = 65.5' PROPOSED: 64'-0"

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
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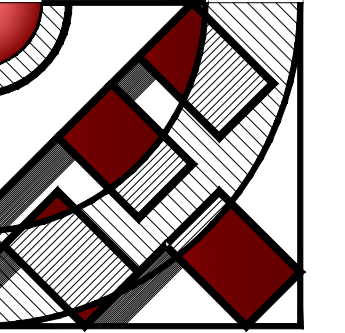
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GRN NOTES:

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LEGEND :

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- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- TWO HOUR RATED WALL
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 30" 48'X30' CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

THIRD FLOOR PLAN

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/8"=1'-0"

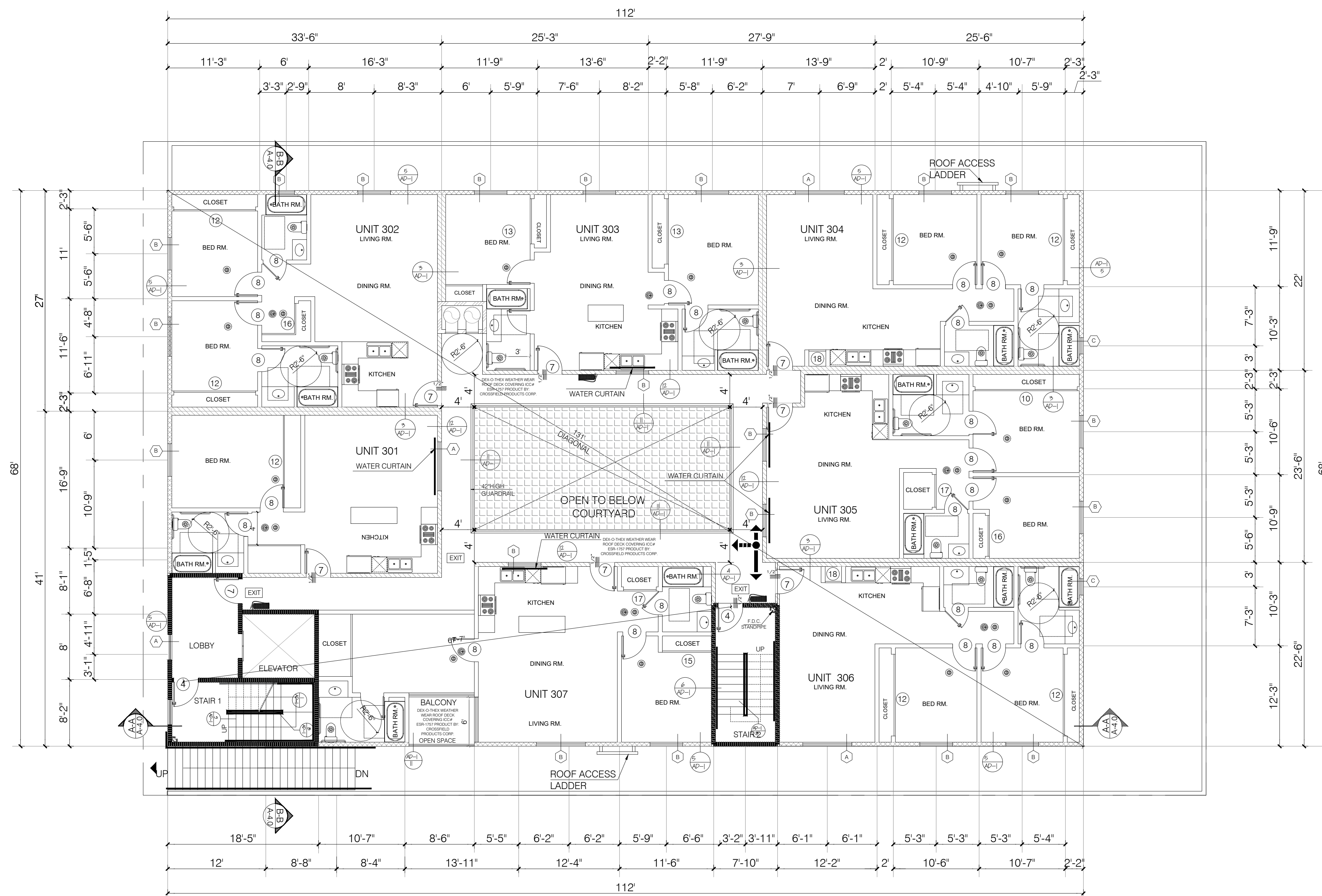
DESIGN & DRAWN: FMI

DATE: 10.02.21

JOB NUMBER:

SHEET

A-2.2



THIRD FLOOR PLAN

SCALE: 1/8"= 1'-0"

FIRE EXTINGUISHERS

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NOTES:

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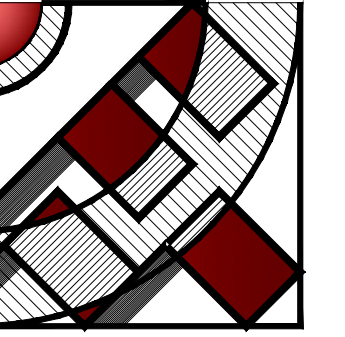
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- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- OUTSIDE MAXIMUM 14' LENGTH W/TWO 4" MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR
- 48"
- 30" 48'X30' CLEAR FLOOR SPACE



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WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

FOURTH FLOOR PLAN

REVISION:

NO. DATE BY

- - -

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SCALE: 1/8" = 1'-0"

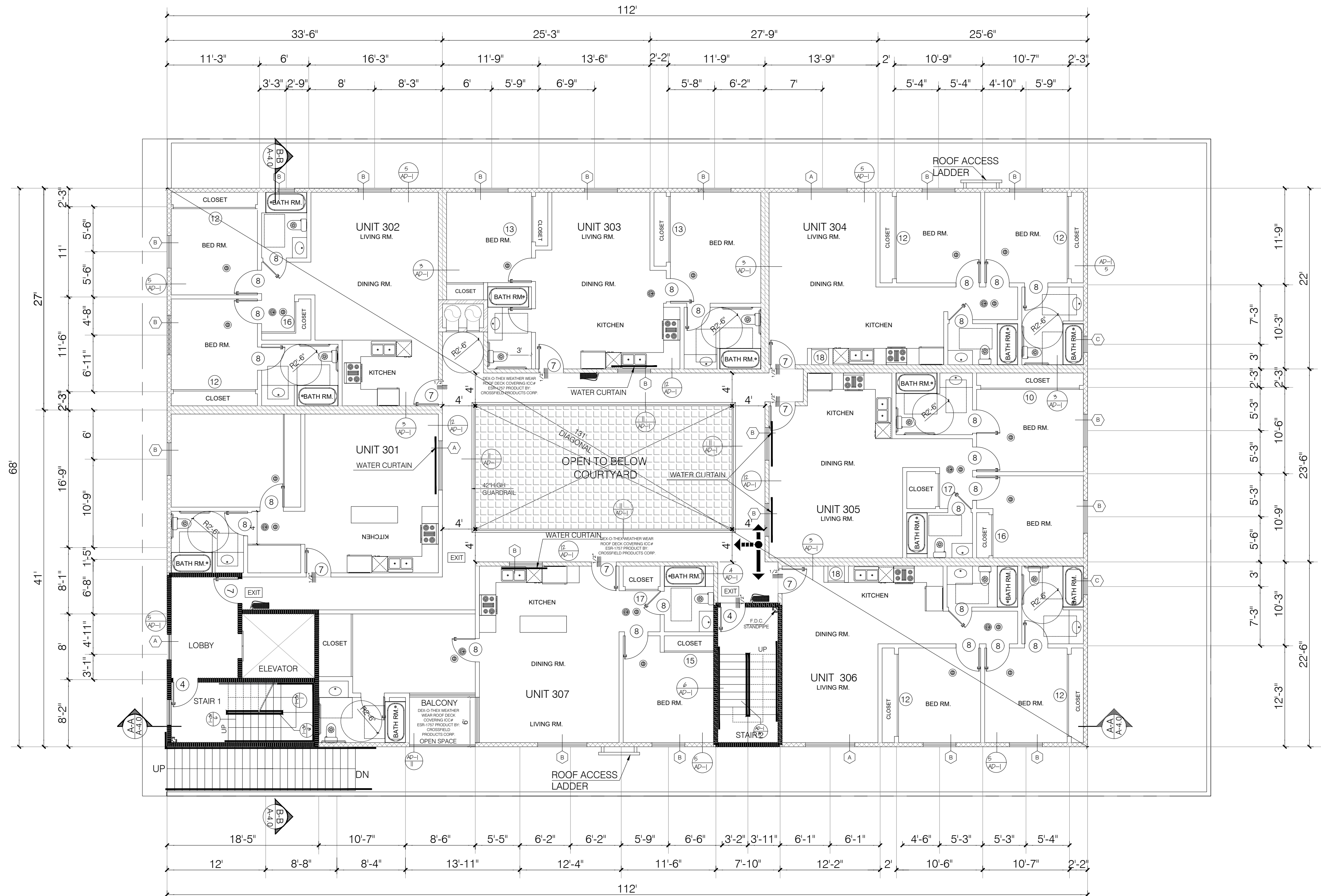
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DATE: 10.02.21

JOB NUMBER:

SHEET

A-2.3



FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

FIRE EXTINGUISHERS
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED: (SIZE AND DISTRIBUTION SHALL BE IN ACCORDANCE WITH SEC. 906.1-906.4).

W/D:
- WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

EXIT ACCESS
- EXIT ACCESS DOORWAYS, STAIRWAYS OR RAMPS SHALL BE PLACED A DISTANCE APART > (6) THE LENGTH OF THE OVERALL DIAGONAL OF THE AREA TO BE SERVED (CBC 1007.1.1) ALLOWABLE: 131' / 2 = 65.5' PROPOSED: 64'-0"

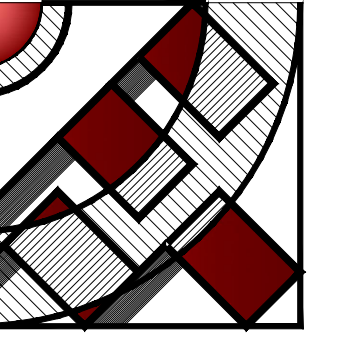
NOTES:
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5"
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.

OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.

GRN NOTES:
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

- LEGEND :**
- WALL
 - ▨ ONE HOUR RATED STC 50 (EXTERIOR WALL)
 - ▩ ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
 - ▧ TWO HOUR RATED (SHAFT WALL)
 - ▦ TWO HOUR RATED (CONCRETE BLOCK WALL)
 - ▤ TWO HOUR RATED WALL
 - PROPERTY LINE
 - ⊙ HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
 - ⊗ MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 - ⊕ GROUND- FAULT CIRCUIT-INTERUPTER
 - ✱ TEMPERED GLASS
 - ⊗ OUTSIDE MAXIMUM 14' LENGTH W/TWO 4' MIN. METAL DRYER VENT, DIRECTLY TO ELBOWS FROM DRYER
 - ⊙ CARBON MONOXIDE DETECTOR
 - 48' 48"x30" CLEAR FLOR SPACE
 - 30'



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CONSTRUCTION

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TEL: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

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4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

ROOF PLAN

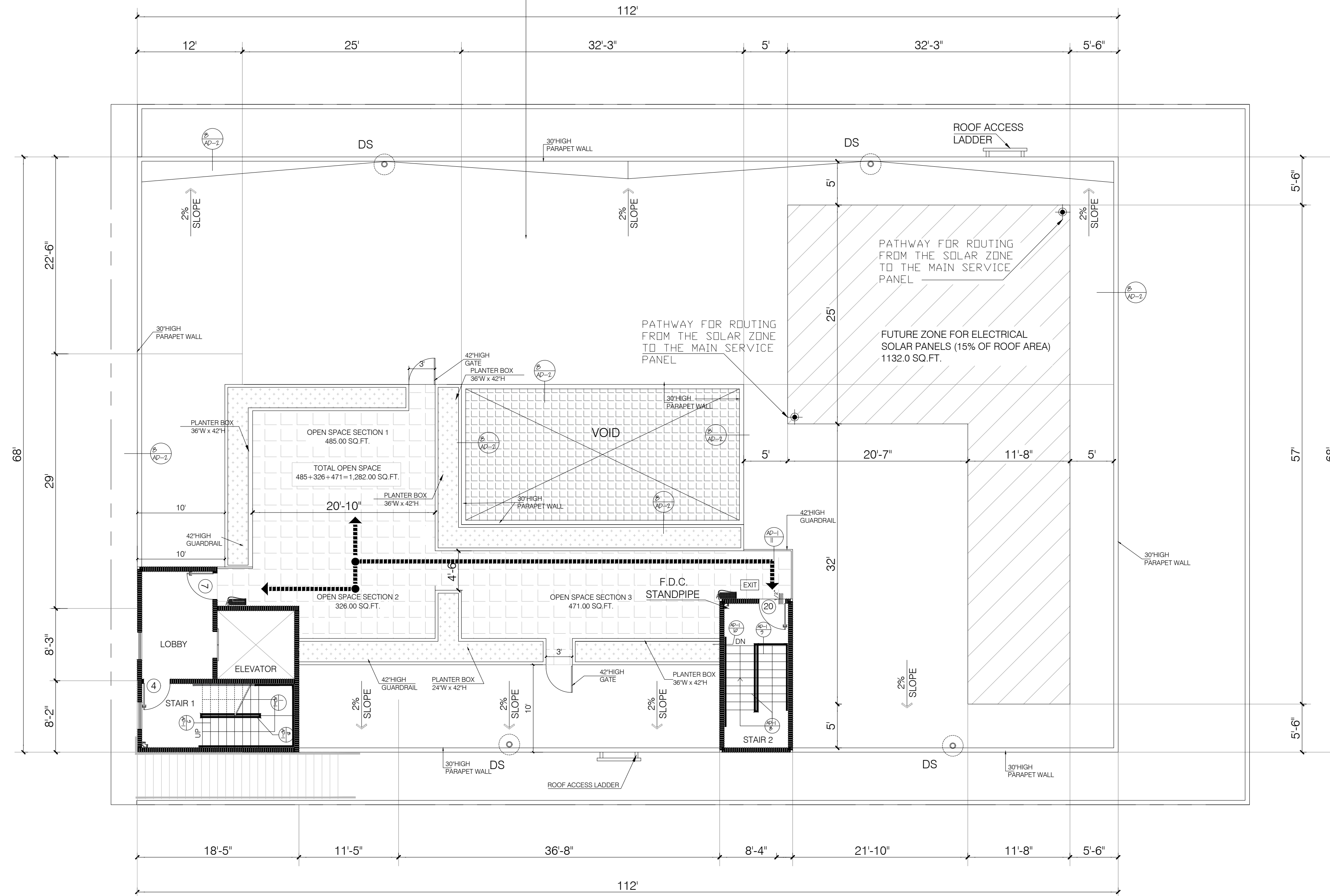
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SCALE:	1/8"=1'-0"	
DESIGN & DRAWN:	FMI	
DATE:	10.02.21	
JOB NUMBER:		

SHEET

A-2.4

CLASS "A" ROOFING
CRRC PROD. ID 0790-0001
MANUFACTURER: PRO-TECH PRODUCTS, INC.
BRAND AND MODEL: 100% ACRYLIC ROOF COATING EC-100 WHITE
PRODUCT TYPE: ASPHALTIC MEMBRANE
SOLAR REFLECTANCE: 0.86 (INITIAL) 0.78 (3 YEAR)
THERMAL EMITTANCE: 0.86 (INITIAL) 0.90 (3 YEAR)
SRI 107 (INITIAL) 97 (3 YEAR)



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ROOF PLAN
SCALE: 1/8"=1'-0"

FUTURE SOLAR ZONE CALCULATION:

TOTAL ROOF AREA: 7,544.0 SQ.FT.
TOTAL REQUIRED AREA: 15% OF ROOF AREA
8,150.00 X 15% = 1,131.6 SQ.FT.
TOTAL PROVIDED AREA: 1,132.00 SQ.FT.

NOTE:

"A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(B) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT."

- FOR ROOF SLOPES < 2:12: 3-YEAR AGED SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75

NOTE:

CLASS "A" FLAT ROOFING < 2:12 ICC-ESR 1597 FROM GAF MATERIAL CORPORATION TO MEETS SECTION 4.106.5

FOR ROOF 2:12" SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL RMITTANCE OF AT LEAST 0.75.

THE CONDUIT FOR THE FUTURE ELECTRICAL SOLAR SYSTEM SHALL BE LABELED AS PER THE LOS ANGELES FIRE DEPARTMENT. (4.211.4.1)

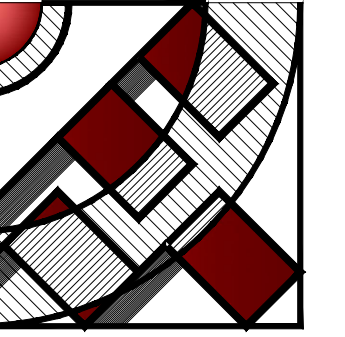
SIZE THE ROOF DRAINS AND OVERFLOW DRAINS ACCORDING TO CHAPTER 11 OF THE LAPC. (1503.4)

ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.

THE SOLAR ZONE SHALL BE FREE OF CBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT.

LEGEND :

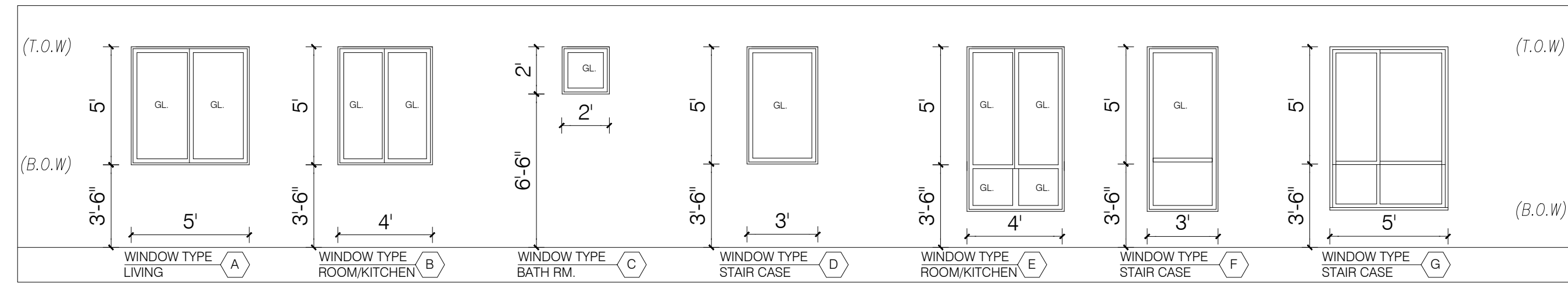
- WALL
- ▨ ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ▧ ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- ▩ TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
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- 48' 48"X30" CLEAR FLLOR SPACE
- 30' 48"X30" CLEAR FLLOR SPACE



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WINDOW ELEVATION ANT TYPE



FACED AREA CALCULATION (CPIO)

FLOOR	TOTAL sq.ft.	OPENING REQUIRED PERCENT	OPENING REQUIRED	OPENING PROPOSED	CALCULATION
FIRST FLOOR	950	25%	237 SQ.F	286 SQ.F	GLASS: 20'+20'+20'+226'=286'
SECOND FLOOR	612	15%	92 SQ.F	131 SQ.F	GLASS: 28'+28'+28'+28'+4'+15'=131'
THIRD FLOOR	612	15%	92 SQ.F	131 SQ.F	GLASS: 28'+28'+28'+28'+4'+15'=131'
FORTH FLOOR	612	15%	92 SQ.F	131 SQ.F	GLASS: 28'+28'+28'+28'+4'+15'=131'

TOTAL FLOOR AREA 2786

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WEST ELEVATION

ELEV. 148.77'
LOWEST POINT 148.47'

OWNER :

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CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

WEST ELEVATIONS

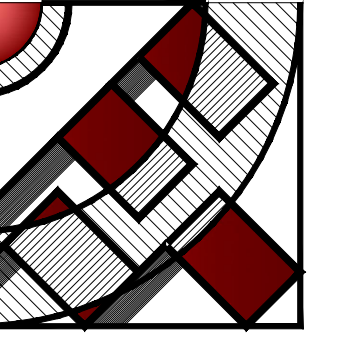
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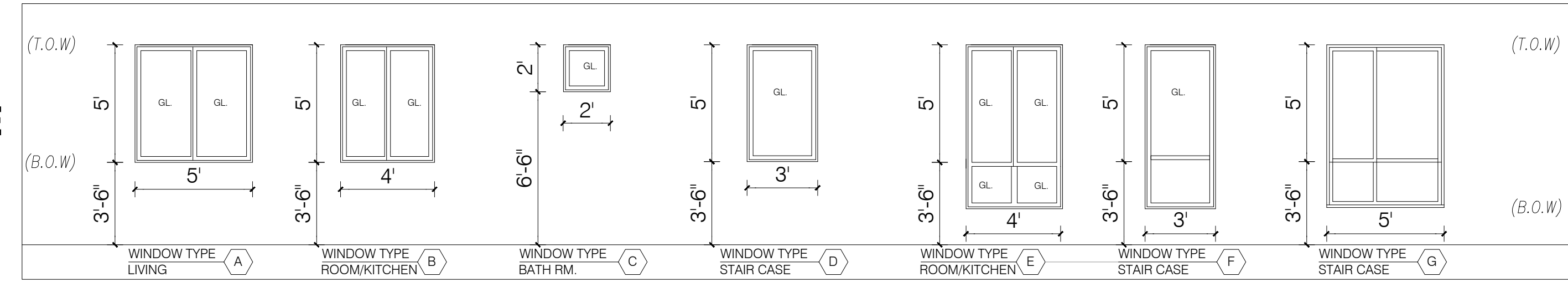
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WOODLAND HILLS, CA 91364
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WINDOW ELEVATION ANT TYPE



NORTH ELEVATION

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PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

NORTH ELEVATIONS

REVISION:

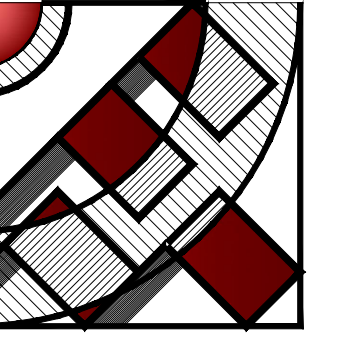
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CA 90003

SHEET TITLE:

SOUTH ELEVATIONS

REVISION:

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SCALE: 1/4" = 1'-0"
 DESIGN & DRAWN: FMI
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 JOB NUMBER:

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A-3.4

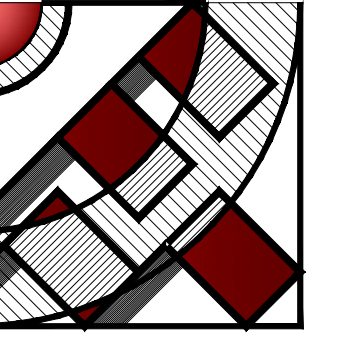


SOUTH ELEVATION

ELEV. 148.77'
 LOWEST POINT 148.47'
 148.47' LOWEST POINT

G2

PL



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SHEET TITLE:

EAST ELEVATIONS

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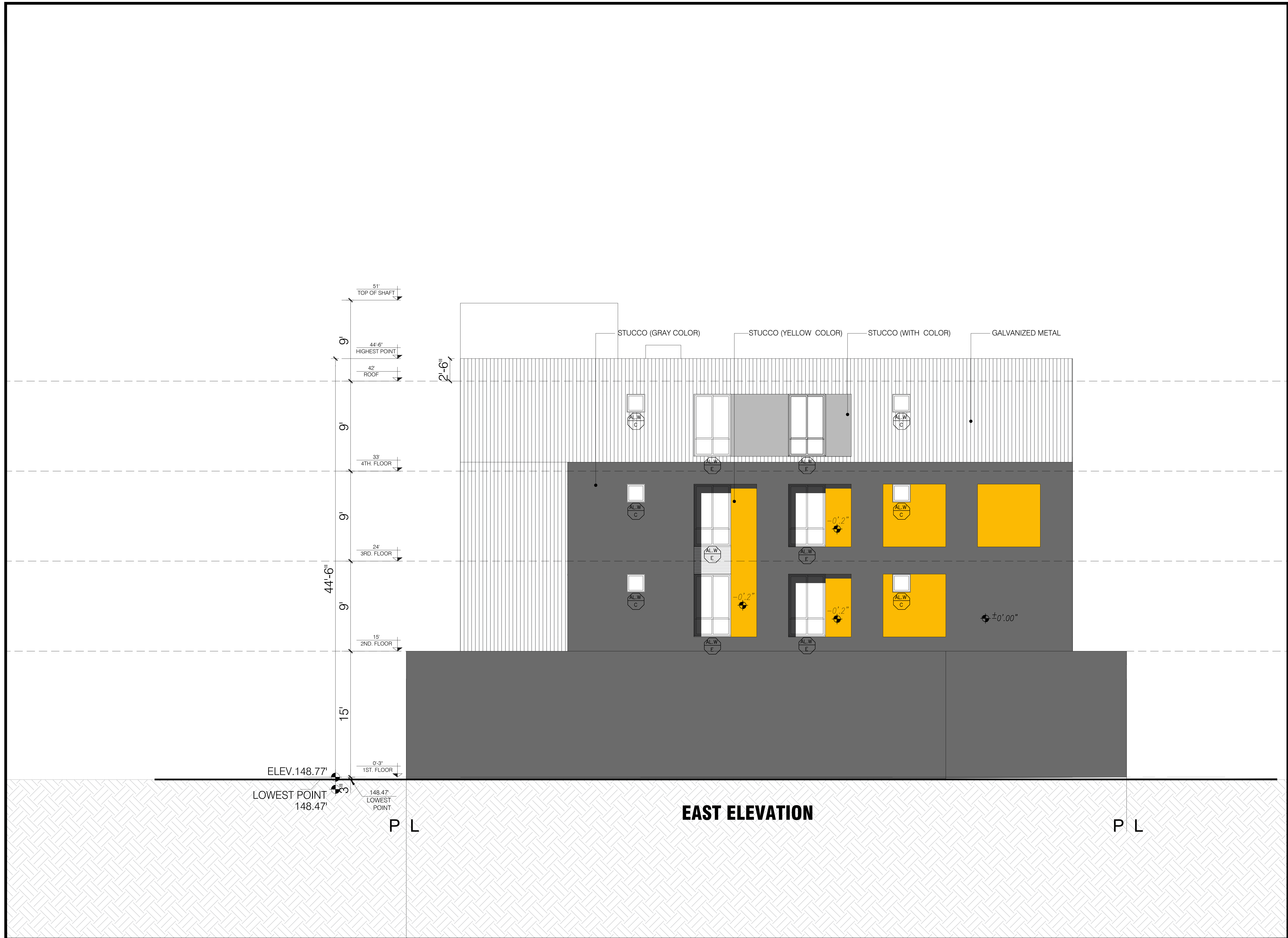
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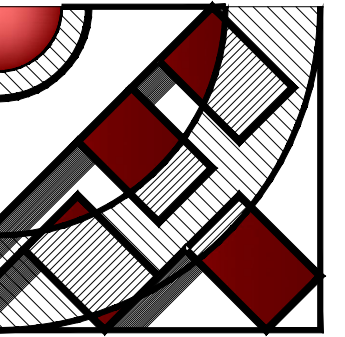
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A-3.5



SECTIONS NOTES

- 1 CLASS "A" ROOFING
- 2 ROOF RAFTER
- 3 R- 30 INSULATION
- 4 7/8" STUCCO OVER PAPER BACK WIRE MESH PROVIDE 2-LAYER OF PAPER OVER PLYWOOD
- 5 R-13 INSULATION
- 6 5/8" GYPSUM BOARD
- 7 R-19 INSULATION
- 8 2X FLOOR JOIST
- 9 HANDRAIL
- 10 4" CONCRETE SLAB ON GRADE
- 11 CONCRETE FTG SEE STRUCTURAL PLANS
- 12 GUARDRAIL



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SECTIONS

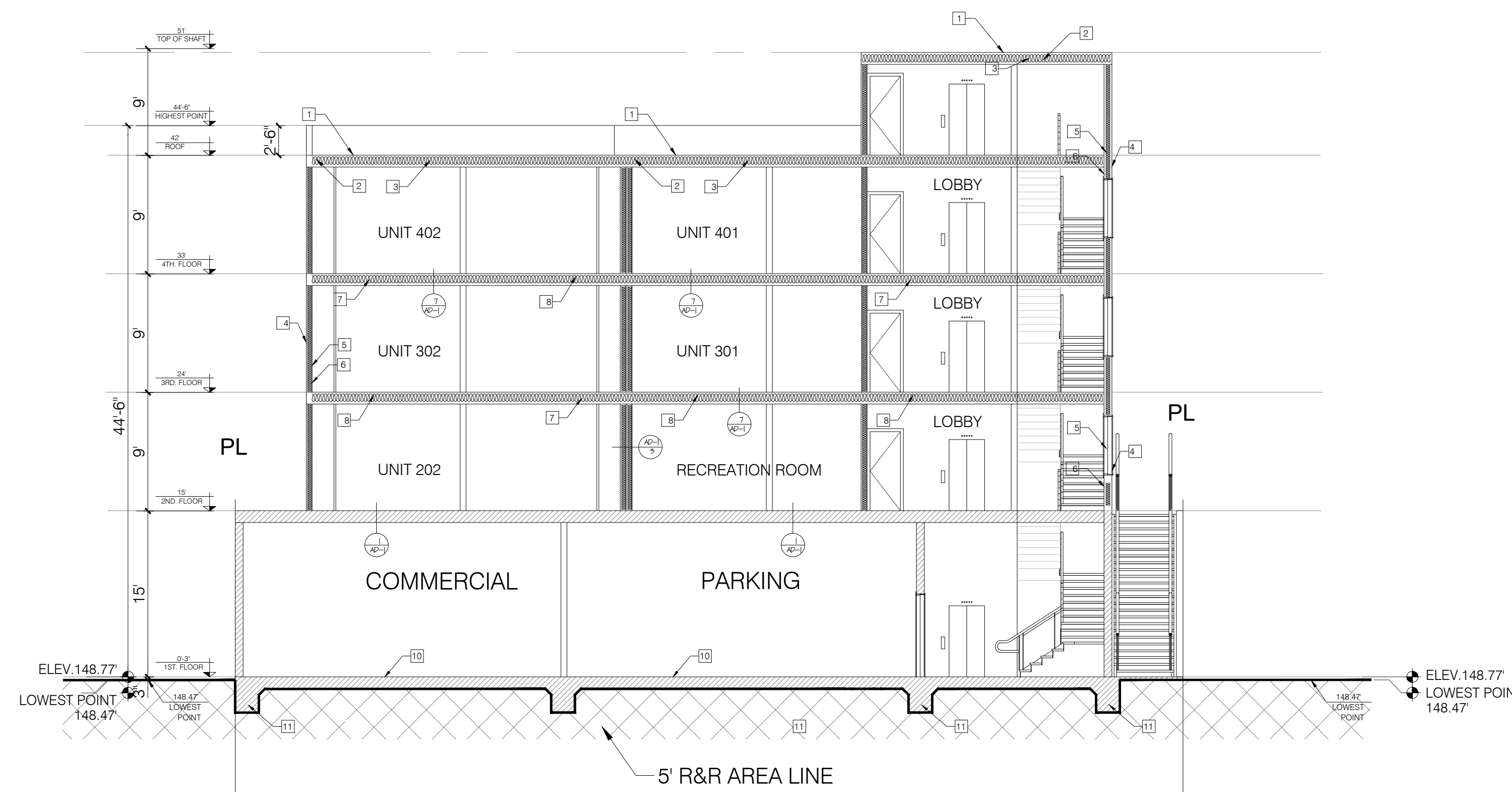
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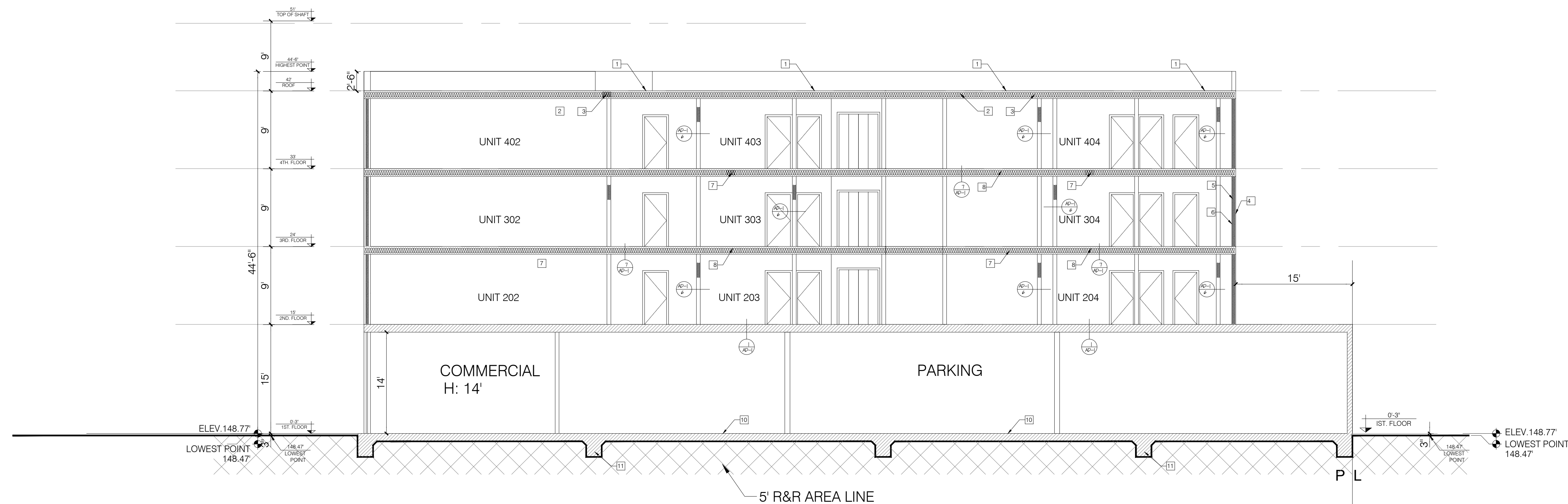
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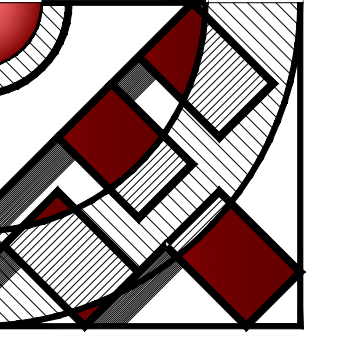
SECTION B-B

SCALE: 1/8" = 1'-0"



SECTION A-A

SCALE: 1/8" = 1'-0"



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STAIRCASE

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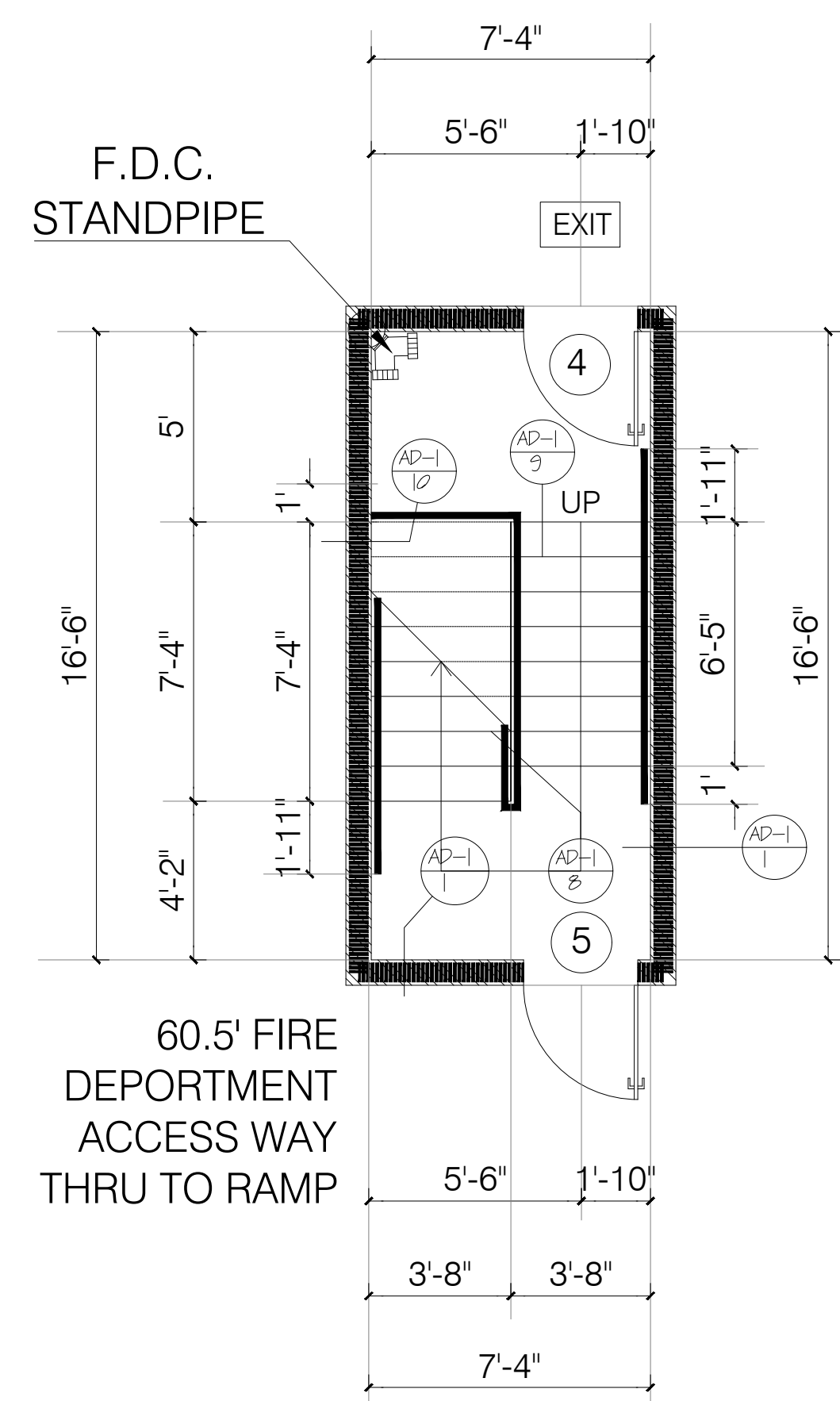
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DATE: 10.02.21

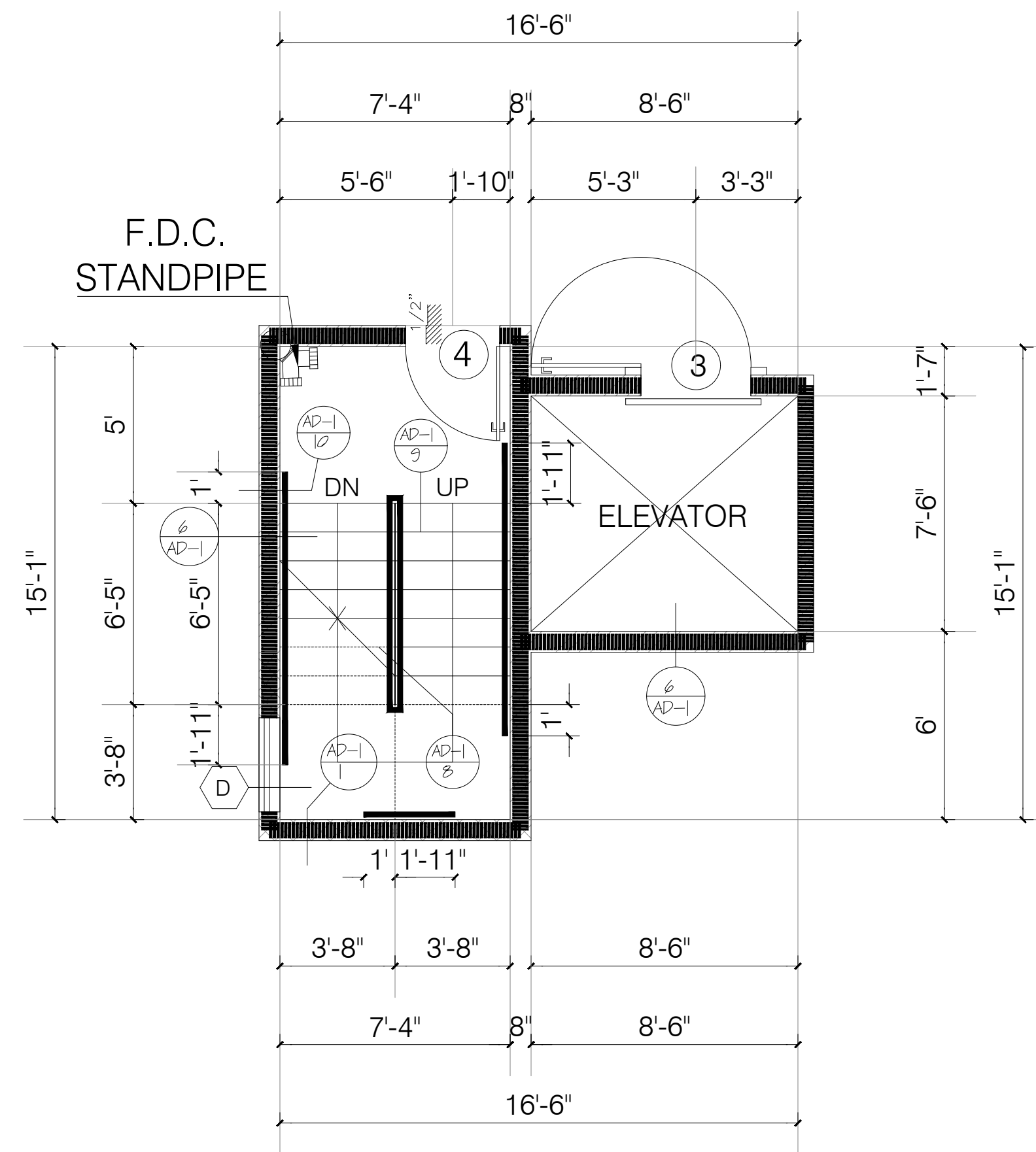
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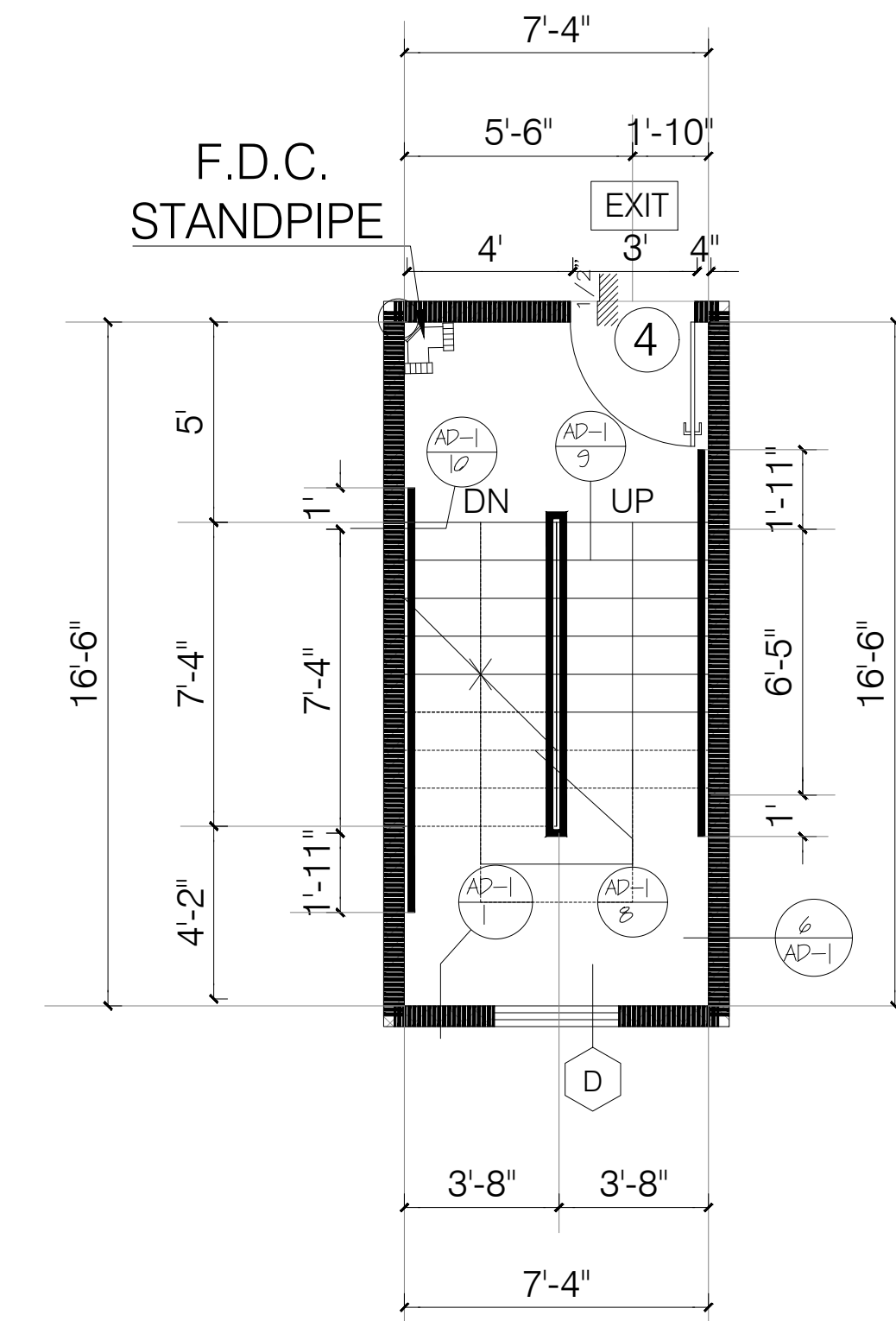
A-2.10



PARKING, STAIR B
SCALE: 1/4" = 1'-0"



FIRST, SECOND & THIRD FLOOR STAIR A
SCALE: 1/4" = 1'-0"



FIRST & SECOND FLOOR STAIR B
SCALE: 1/4" = 1'-0"

1123A.5 Striping for the Visually Impaired. The upper approach and the lower tread of each stair along routes required to be accessible, shall be marked by a strip of clearly contrasting color at least a minimum of 2 inches (50.8 mm) wide to a maximum of 4 inches (101.6 mm) wide placed parallel to, and not more than 1 inch (25.4mm) from, the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable.

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127A.10)

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVID, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.
- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

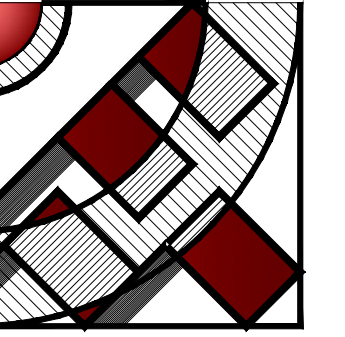
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- TWO HOUR RATED WALL
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48"x30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"x54" CLEAR FLOOR SPACE
- D 42" 54" 54"x42" CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

STAIRCASE

REVISION:

NO.	DATE	BY
-	-	-

SCALE: 1/4" = 1'-0"

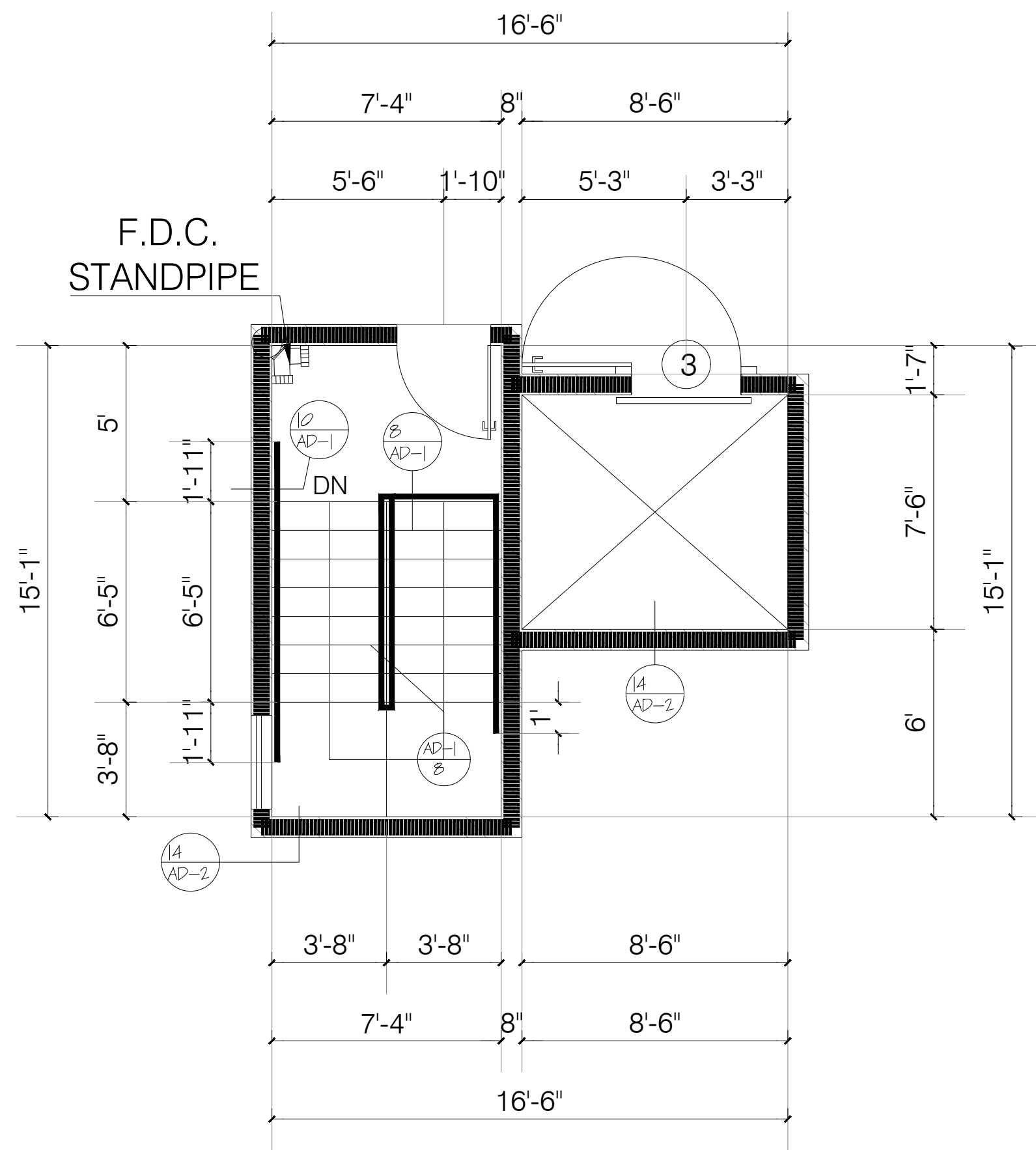
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DATE: 10.02.21

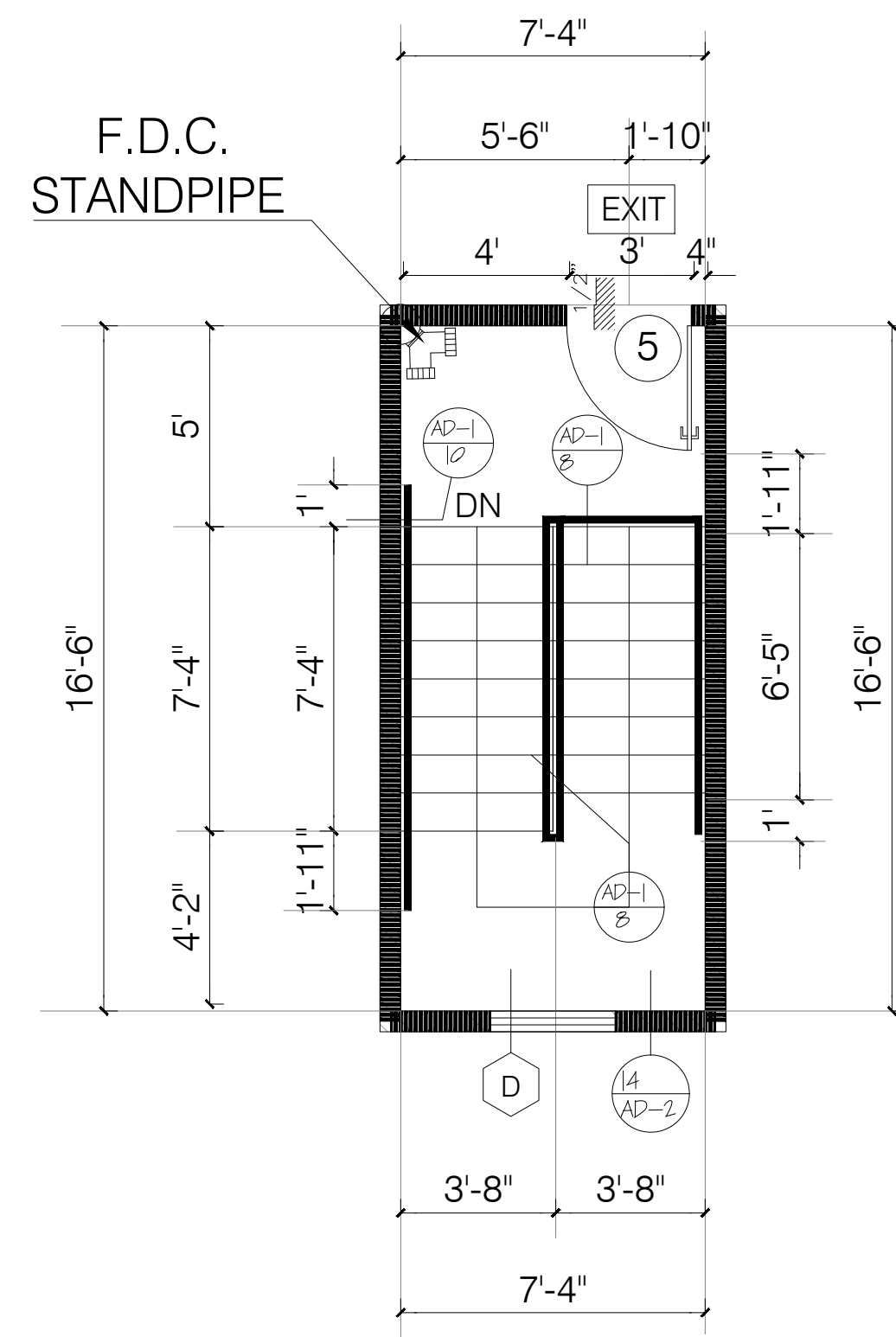
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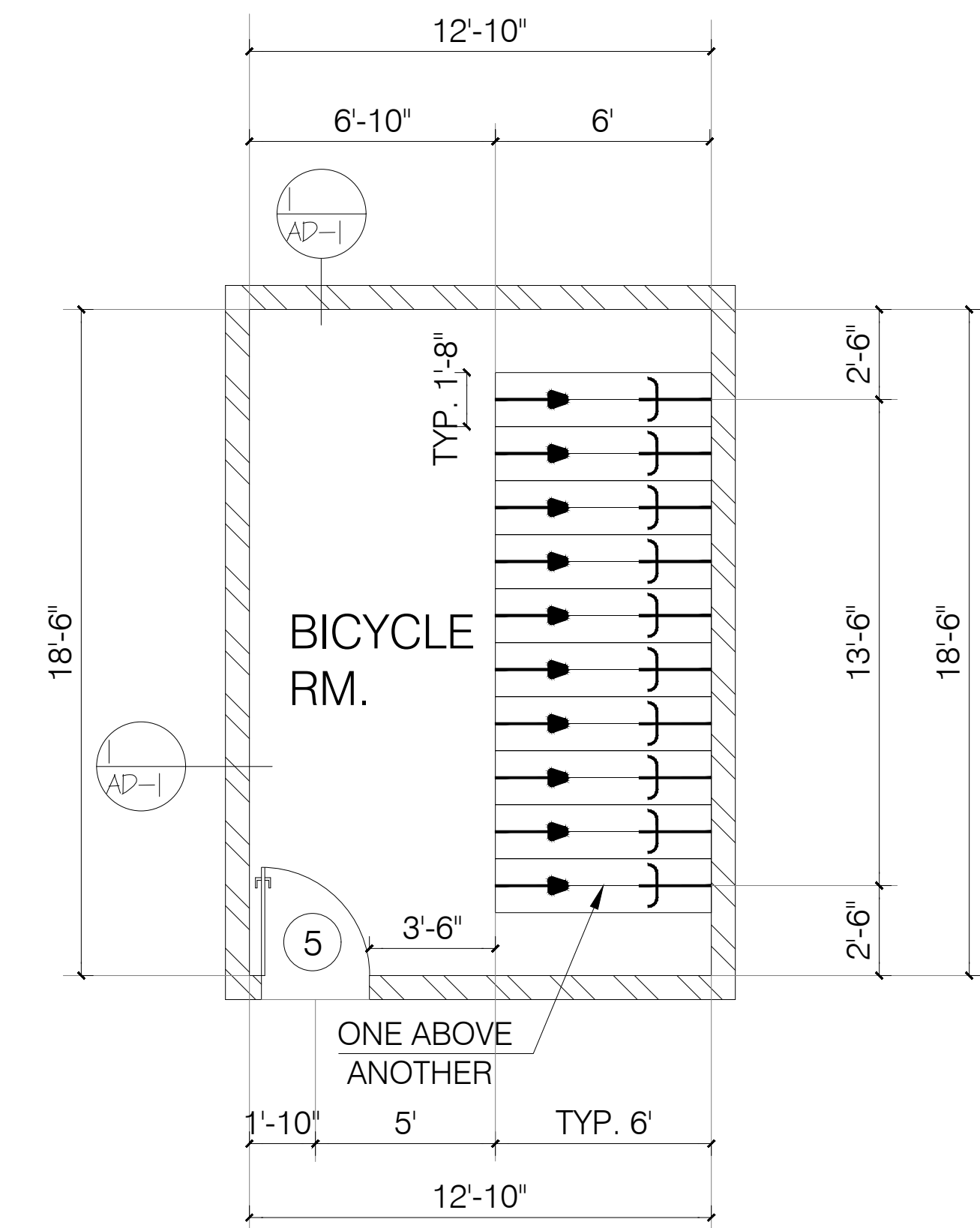
A-2.11



ROOF FLOOR STAIR A
SCALE: 1/4" = 1'-0"



ROOF FLOOR STAIR B
SCALE: 1/4" = 1'-0"



BICYCLE RM.
SCALE: 1/4" = 1'-0"

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W/D:
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COMPLY WITH CODE SECTION (1127.A.10)

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GRN NOTES:

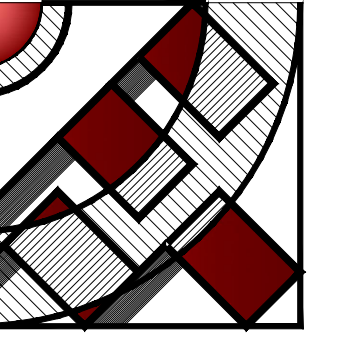
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
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LEGEND :

- WALL
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- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
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- TWO HOUR RATED WALL
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- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
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- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48'X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60'X54" CLEAR FLOOR SPACE
- D 42" 54" 54'X42" CLEAR FLOOR SPACE



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CONSTRUCTION

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WOODLAND HILLS, CA 91364
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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

UNITS PLAN

REVISION:

NO. DATE BY

- - -

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SCALE: 1/4" = 1'-0"

DESIGN & DRAWN: FMI

DATE: 10.02.21

JOB NUMBER:

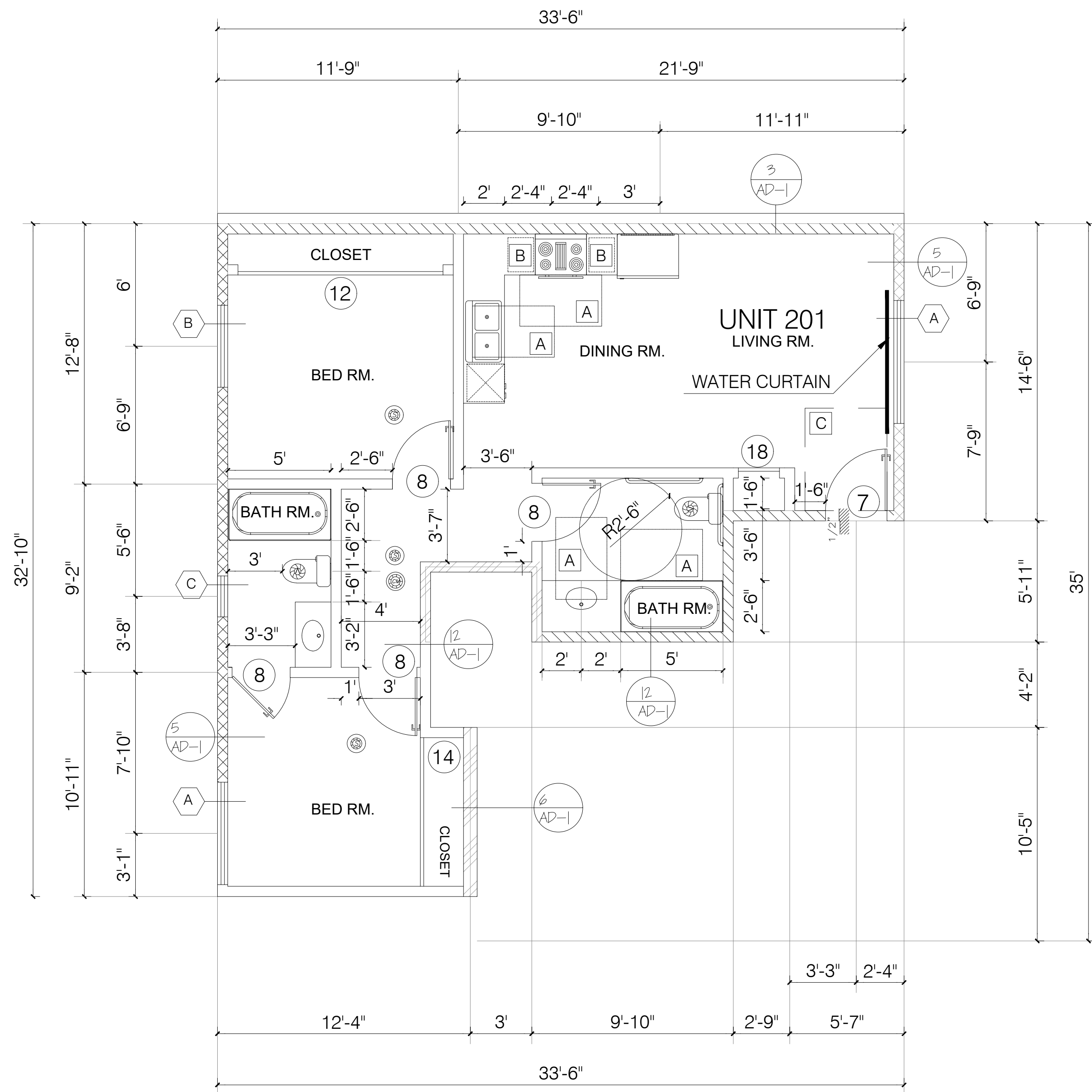
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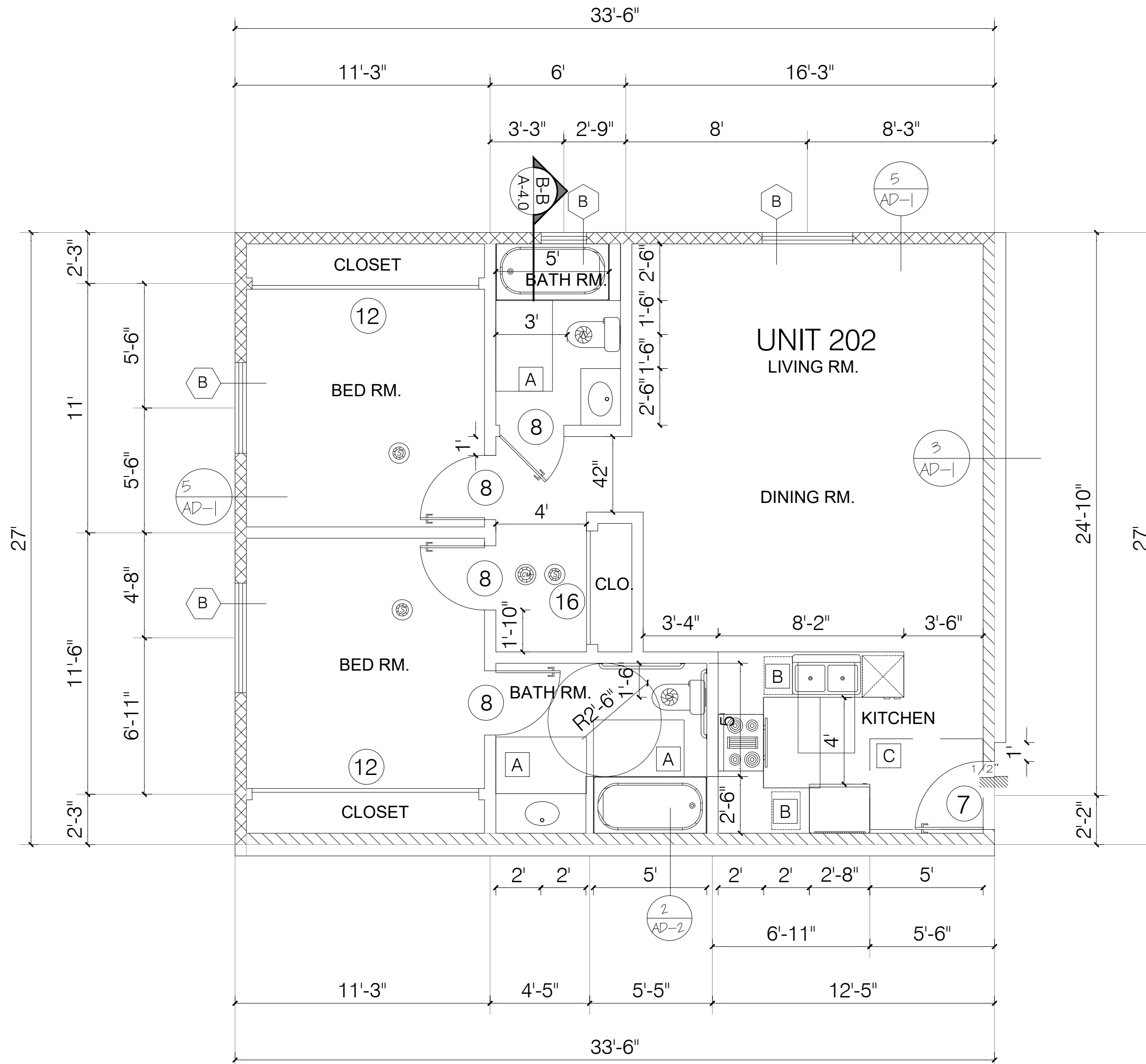
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SHEET

A-2.5



TYPICAL UNIT FLOOR PLAN 201,401



TYPICAL UNIT FLOOR PLAN 202,302,402

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
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3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

- 6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
- 7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
- 8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
- 9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
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GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

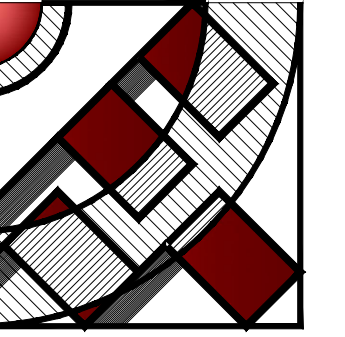
- A 30" 48" 48"X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"X54" CLEAR FLOOR SPACE
- D 42" 54" 54"X42" CLEAR FLOOR SPACE

LAYOUT PLANS

SCALE: 1/4" = 1'-0"

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD (if conter is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127A.10)



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CONSTRUCTION

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WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

UNITS PLAN

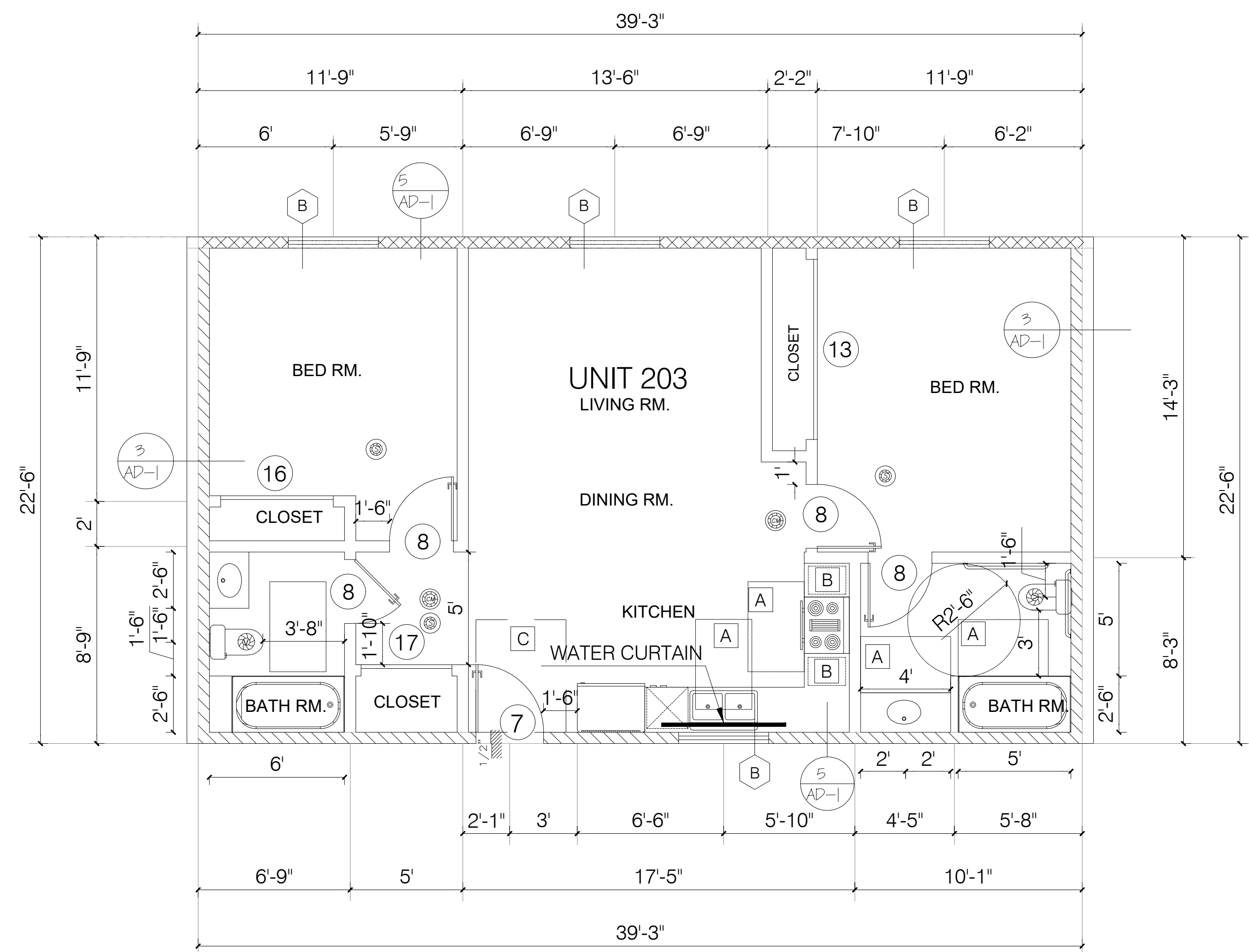
REVISION:

NO.	DATE	BY
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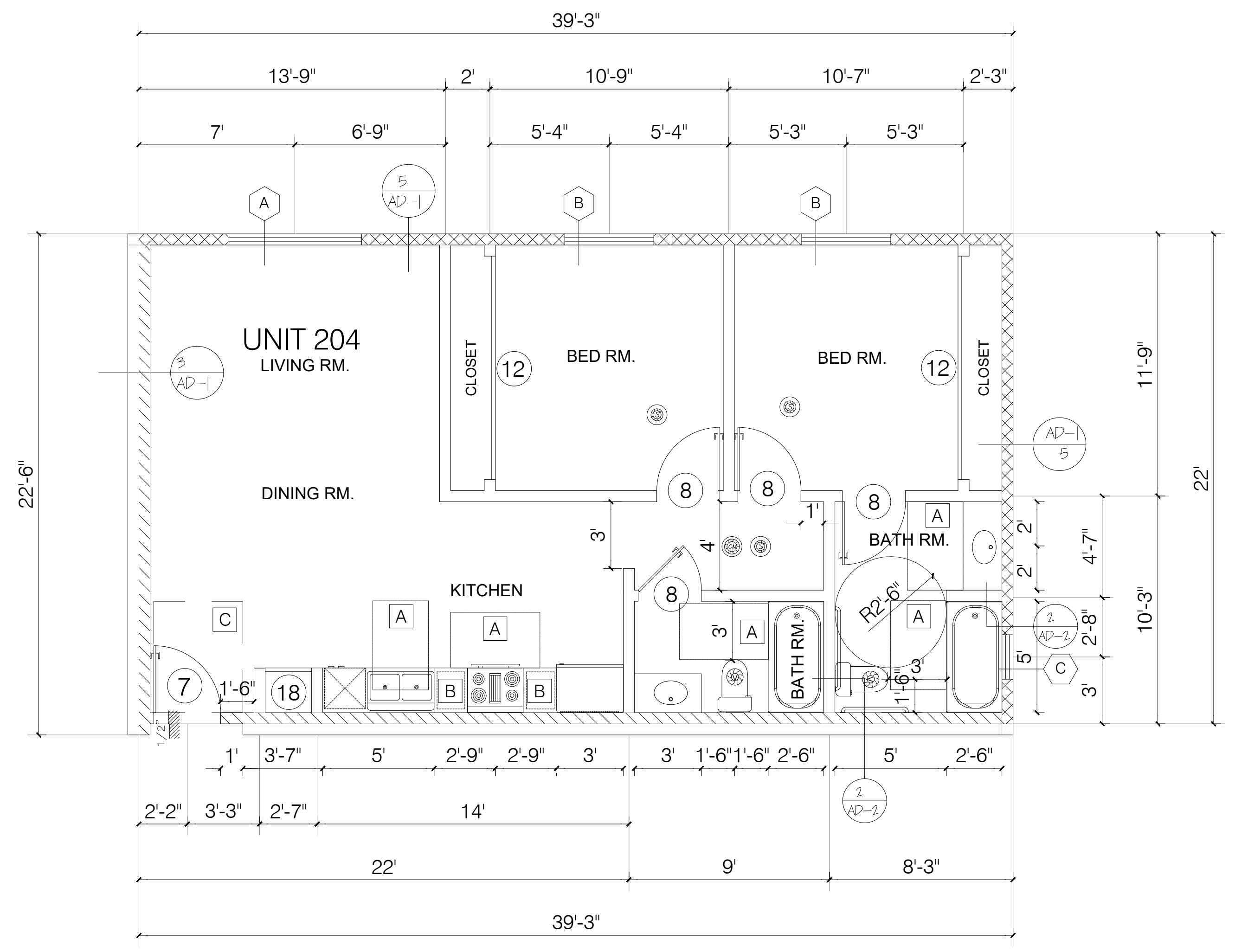
SCALE: 1/4" = 1'-0"
DESIGN & DRAWN: FMI
DATE: 10.02.21
JOB NUMBER:

SHEET

A-2.6



TYPICAL UNIT FLOOR PLAN 203,303,403



TYPICAL UNIT FLOOR PLAN 204,304,404

LAYOUT PLANS
SCALE: 1/4" = 1'-0"

W/D:
- WASHER AND DRYER SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

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- USEABLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STAIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECTLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVE, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PROVIDE KNEE AND TOE SPACE FOR A WHEELCHAIR. THE FLOOR SPACE BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A.3)
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- BATHROOM VANITIES COUNTER SHALL BE 34" HEIGHT.
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7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
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GRN NOTES:

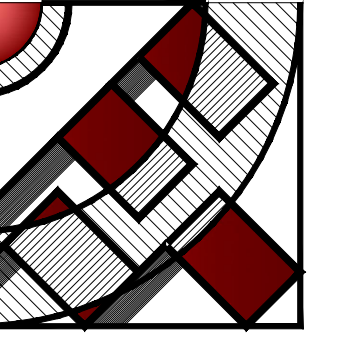
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LEGEND :

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- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
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- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- A 30" 48" 48"X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
- C 54" 60" 60"X54" CLEAR FLOOR SPACE
- D 42" 54" 54"X42" CLEAR FLOOR SPACE



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

UNITS PLAN

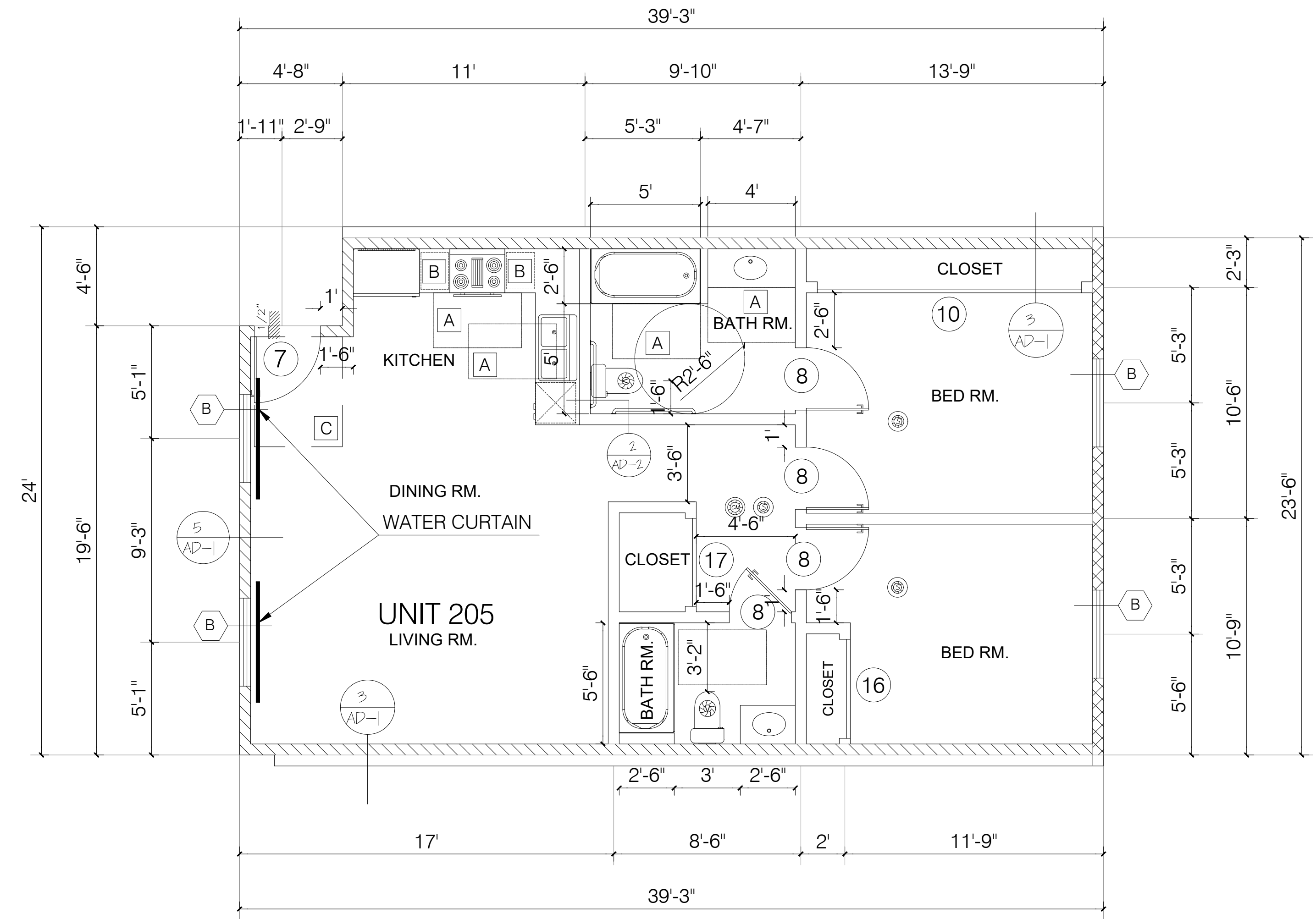
REVISION:

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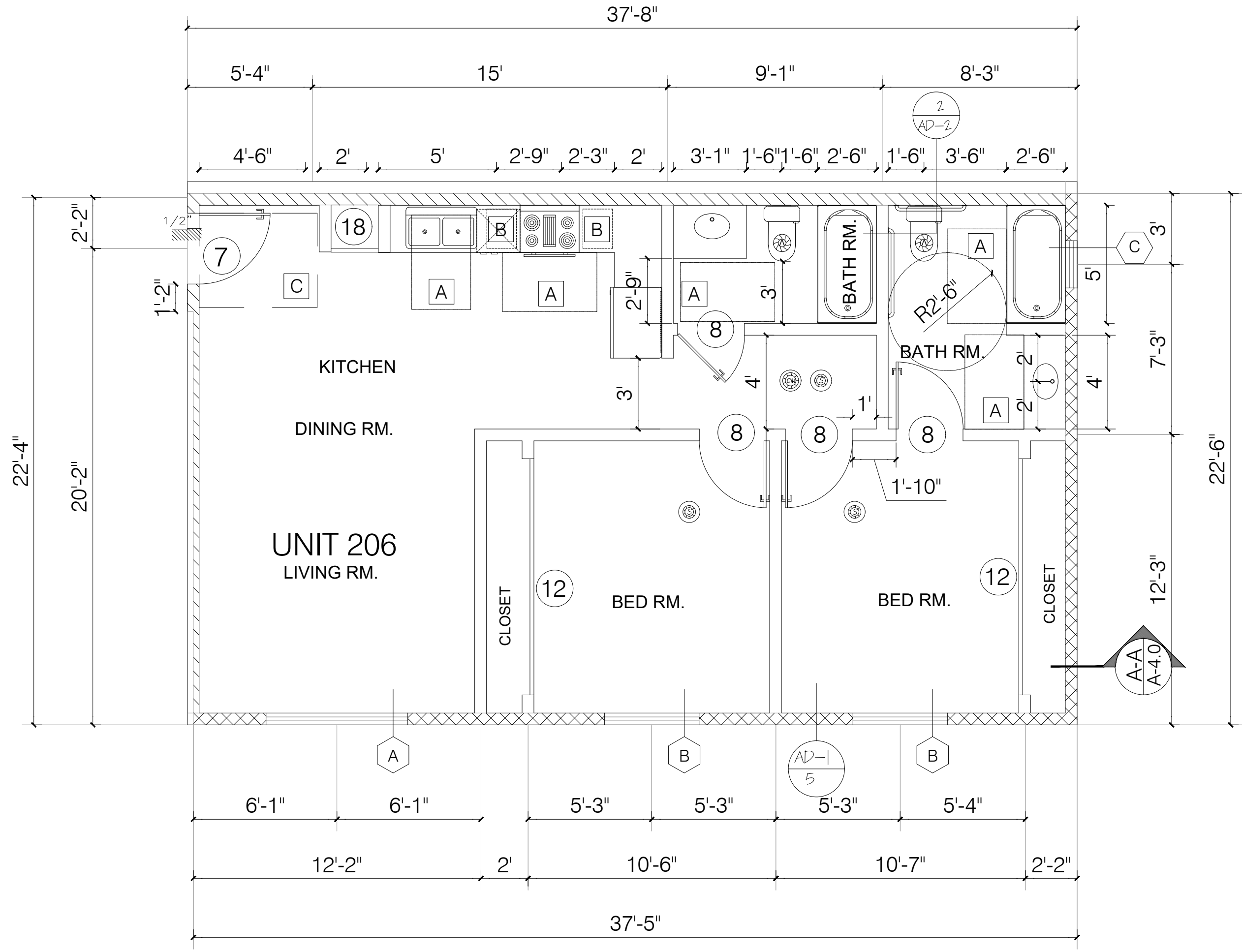
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 DATE: 10.02.21
 JOB NUMBER:

SHEET

A-2.7



TYPICAL UNIT FLOOR PLAN 205,305,405



TYPICAL UNIT FLOOR PLAN 206,306,406

NOTES:

- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.*
- USEBLE ENCLOSED SPACE UNDER ENCLOSED OR UNENCLOSED STEIRWAYS SHALL BE PROVIDED WITH A 1 HR FIRE-RESISTANCE RATED CONSTRUCTION OR THE SAME FIRE RATING OF THE STAIRS ENCLOSURE WHICHEVER IS GREATER. (1009.6.3)
- BASE CABINETS DIRECLY UNDER THE KITCHEN SINK COUNTER AREA, INCLUDING TOEBOARD AND SHELVIND, SHALL BE REMOVABLE WITHOUT THE USE OF SPECIALIZED TOOLS OR KNOWLEDGE IN ORDER TO PEOVIDE KNEE ANS TOE SPACE FOR A WHEELCHAIR. THE FONOSH FLOOR BENEATH THE KITCHEN SINK COUNTER AREA SHALL BE EXTENDED TO THE WALL. TYP. (1133A3)
- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
- OPTION 2. ONLY ONE BATHROOM WITHIN THE DWELLING UNIT SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING:
 1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
 2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
 3. SHOWER SHALL COMPLY WITH SECTION 1134A.6.
 4. WATER CLOSET SHALL COMPLY WITH SECTION 1134A.7.
 5. LAVATORIES VANITIES, MIRRORS AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.

6. WHERE BOTH A SHOWER AND TUB ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
8. BATHROOM SHALL PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132.5.
10. A MIN. 18-INCH (457MM) CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING OF THE DOOR AT THE STRIKE EDGE OF THE DOOR
11. SWITCHES, OUTLETS AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB AND SHOWERS SHALL COMPLY WITH SECTION 1134A.5 FOR BATHTUBS, 1134A6 FOR SHOWERS AND 1134A.7 FOR WATER CLOSET. GRAB BAR SHALL COMPLY WITH SECTION 1127A.4 AND 1127.2.2. ITEM 4.
- ALL ADDITIONAL BATHROOMS MUST COMPLY WITH ITEMS #8 AND #12 ABOVE.

GRN NOTES:

- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

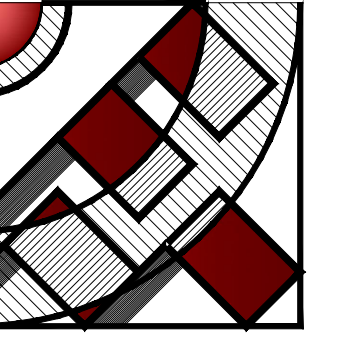
- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- 48" x 30" CLEAR FLOOR SPACE
- 15" W. BREADBOARD
- 54" x 42" CLEAR FLOOR SPACE
- 60" x 54" CLEAR FLOOR SPACE

LAYOUT PLANS
 SCALE: 1/4" = 1'-0"

W/D:
 - WASHER AND DRYE SHALL BE FRONT LOAD
 (if conter is provided, shall be at 34" max. height with
 27" min. knee clear at 19" min. deep, typical)
 COMPLY WITH CODE SECTION (1127.A.10)



FMI
DESIGN & ENG.
CONSTRUCTION

19730 VENTURA BLVD. #5
WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

UNITS
REC. RM. PLAN

REVISION:

NO. DATE BY

- - -

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SCALE: 1/4" = 1'-0"

DESIGN & DRAWN: FMI

DATE: 10.02.21

JOB NUMBER:

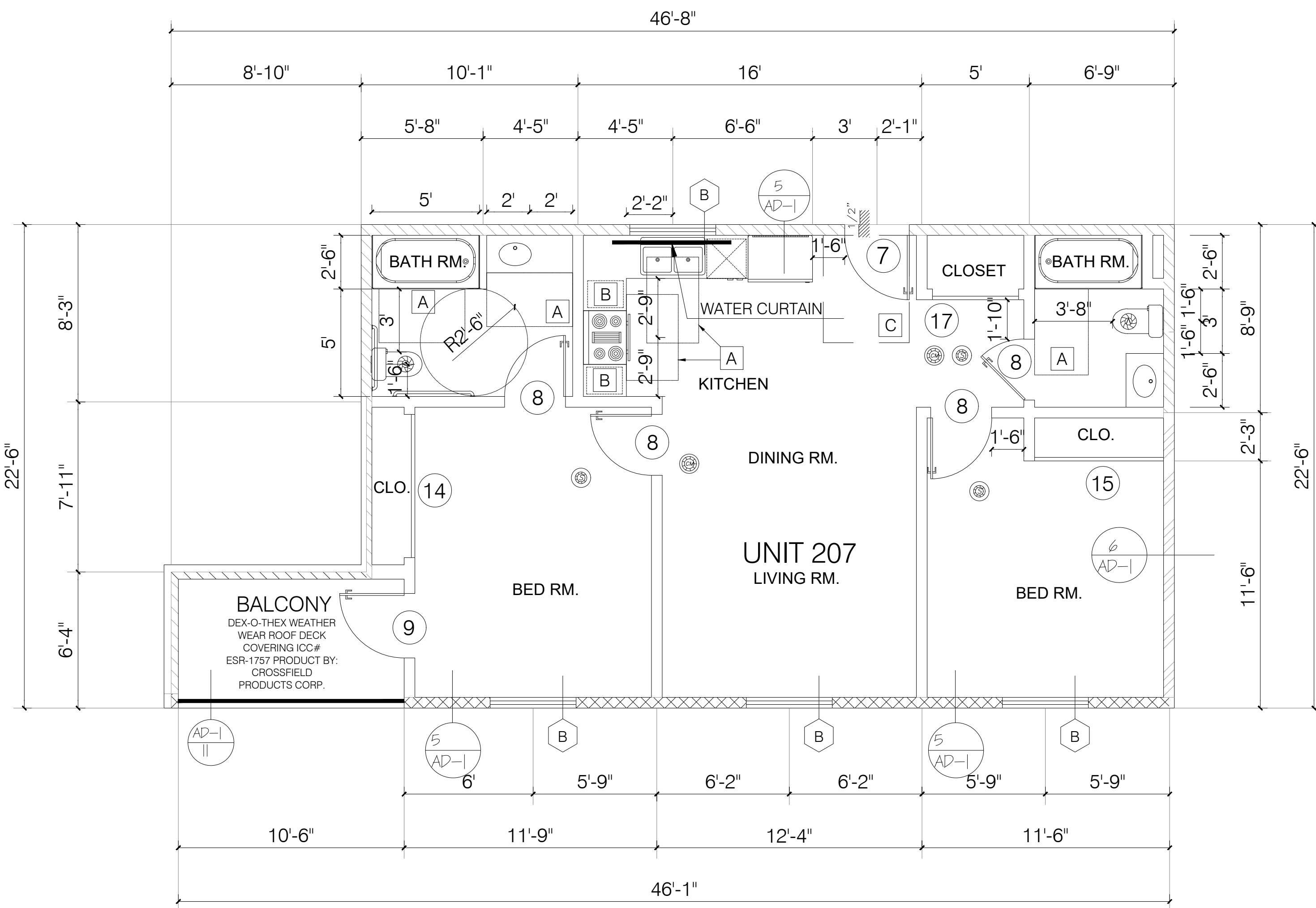
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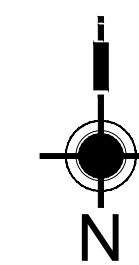
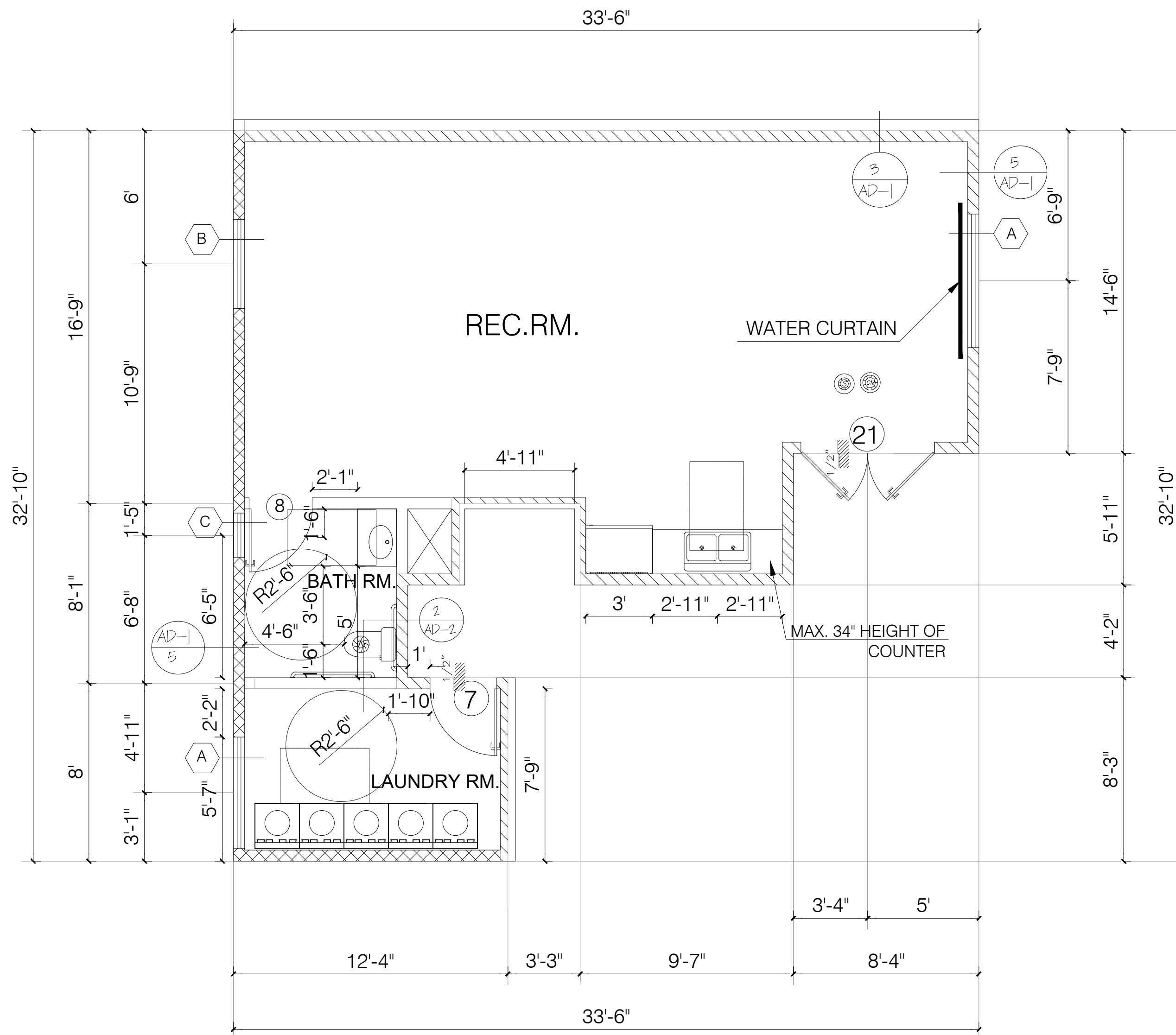
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SHEET

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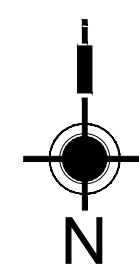


TYPICAL UNIT FLOOR PLAN 207,307,407



RECREATION RM.

SCALE: 1/4" = 1'-0"



LAYOUT PLANS

SCALE: 1/4" = 1'-0"

W/D:

- WASHER AND DRYER SHALL BE FRONT LOAD
(if center is provided, shall be at 34" max. height with
27" min. knee clear at 19" min. deep, typical)
COMPLY WITH CODE SECTION (1127.A.10)

NOTES:

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- KITCHEN COUNTER MATERIAL IS GRANITE STONE W/ 36" HEIGHT.
- ALL BATHROOM VANITIES COUNTER SHALL BE 36" HEIGHT.
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GRN NOTES:

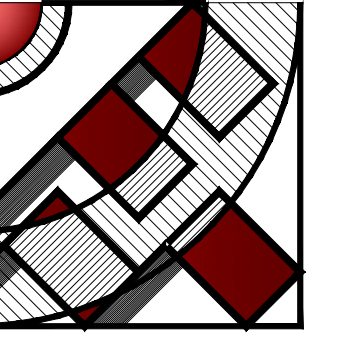
- EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- EXHAUST FAN NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

LEGEND :

- WALL
- ONE HOUR RATED STC 50 (EXTERIOR WALL)
- ONE HOUR RATED STC 50 (HALLWAY AND PARTITION WALLS)
- TWO HOUR RATED (SHAFT WALL)
- TWO HOUR RATED (CONCRETE BLOCK WALL)
- PROPERTY LINE
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- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, SHALL BE ENERGY STAR COMPLIANT W/HUMIDISTAT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- GROUND- FAULT CIRCUIT-INTERUPTER
- TEMPERED GLASS
- 4" MIN. METAL DRYER VENT, DIRECTLY TO OUTSIDE MAXIMUM 14' LENGTH W/TWO ELBOWS FROM DRYER
- CARBON MONOXIDE DETECTOR

KEYNOTES :

- 30" 48" 60" 60"x54" CLEAR FLOOR SPACE
- 48"x30" CLEAR FLOOR SPACE
- 15" 15" W. BREADBOARD
- 54" 42" 54" 54"x42" CLEAR FLOOR SPACE



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DESIGN & ENG.
CONSTRUCTION

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WOODLAND HILLS, CA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE

4615 WINNETKA CIR, WOODLAND HILLS,
CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES,
CA 90003

SHEET TITLE:

**BICYCLE RM.
STAIRCASE**

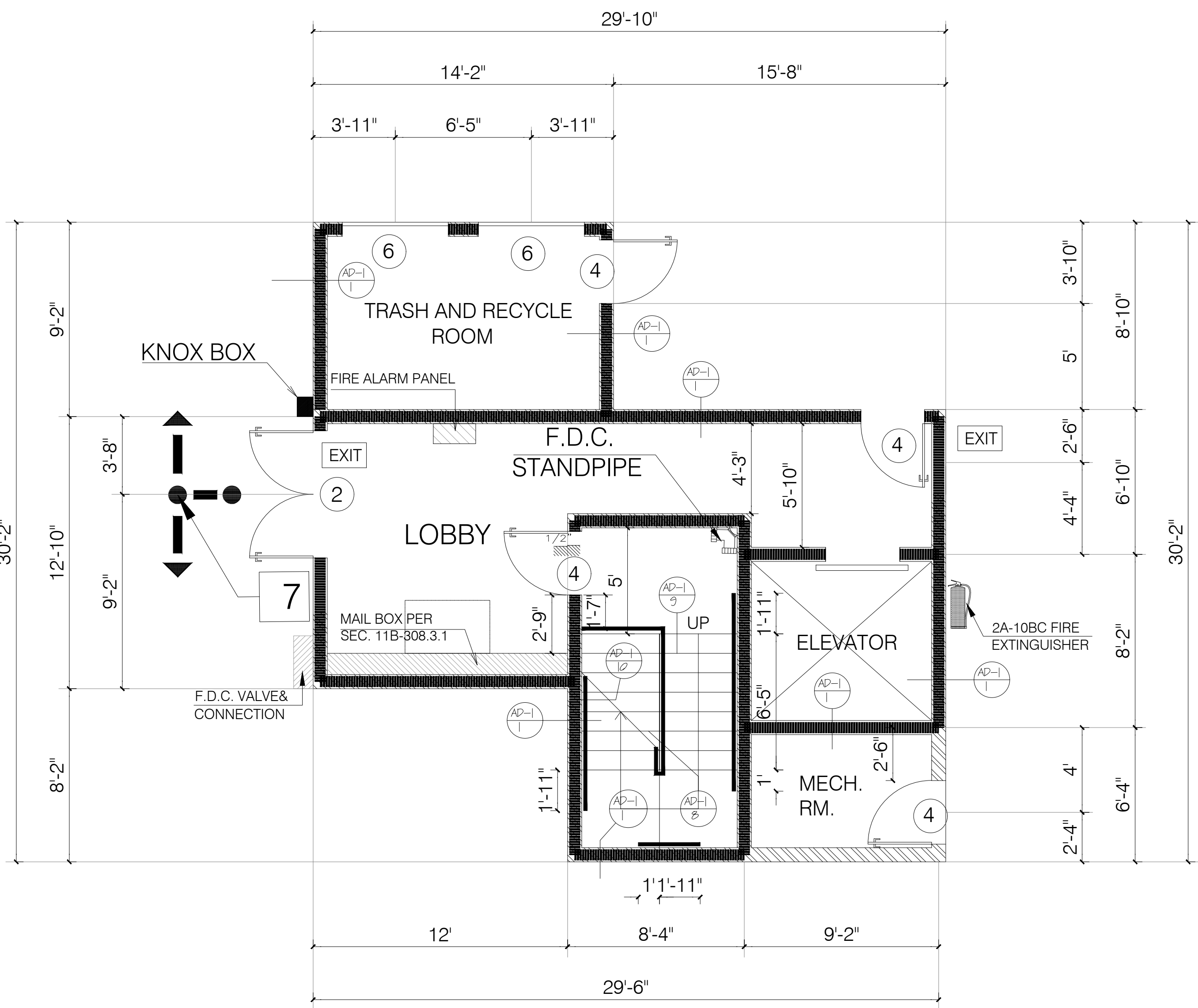
REVISION:

NO.	DATE	BY

SCALE: 1/4" = 1'-0"
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DATE: 10.02.21
JOB NUMBER:

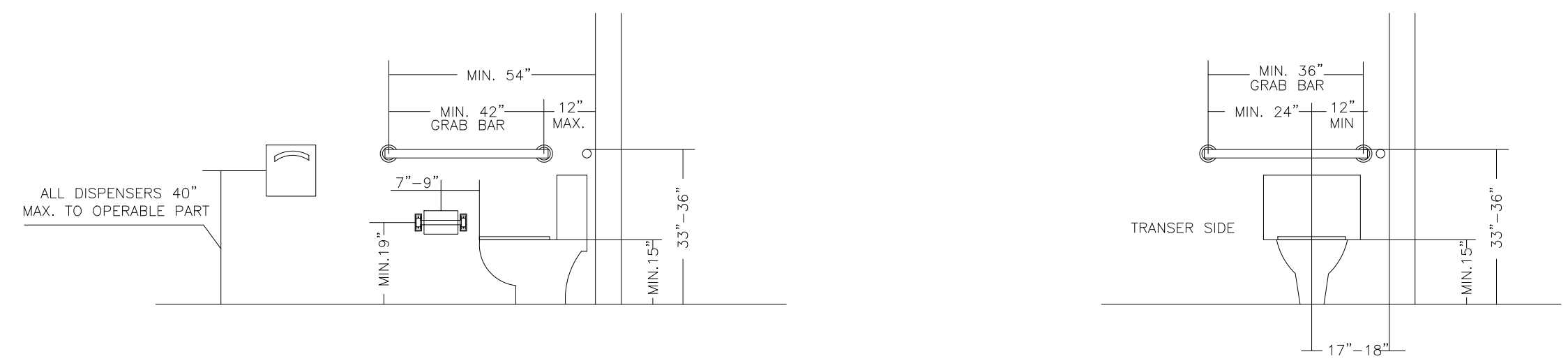
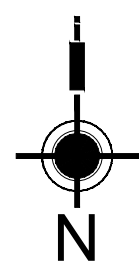
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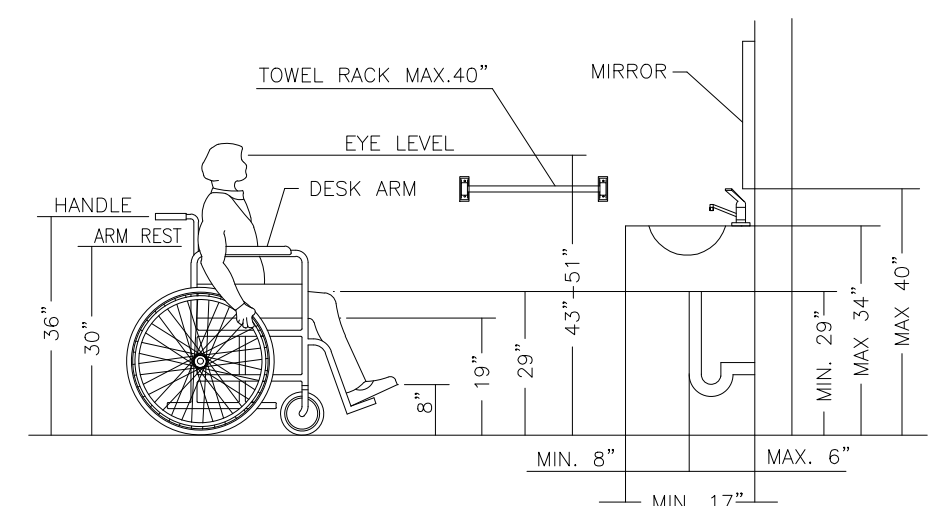


PARKING LOBBY, ELEVATOR, STAIR A, MEC. RM., TRASH RM.

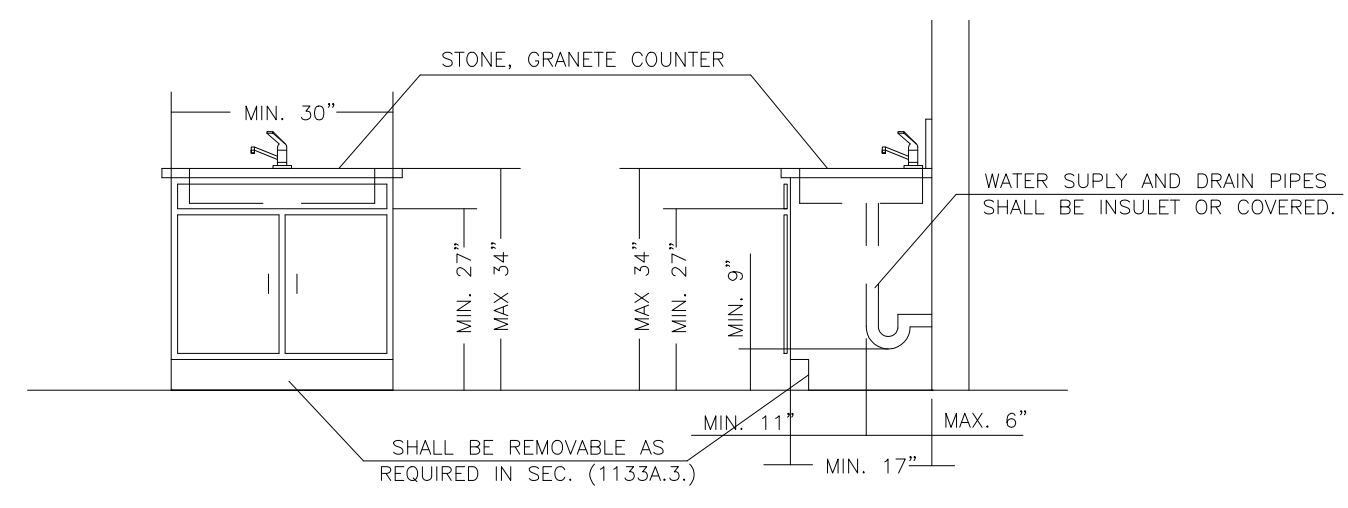
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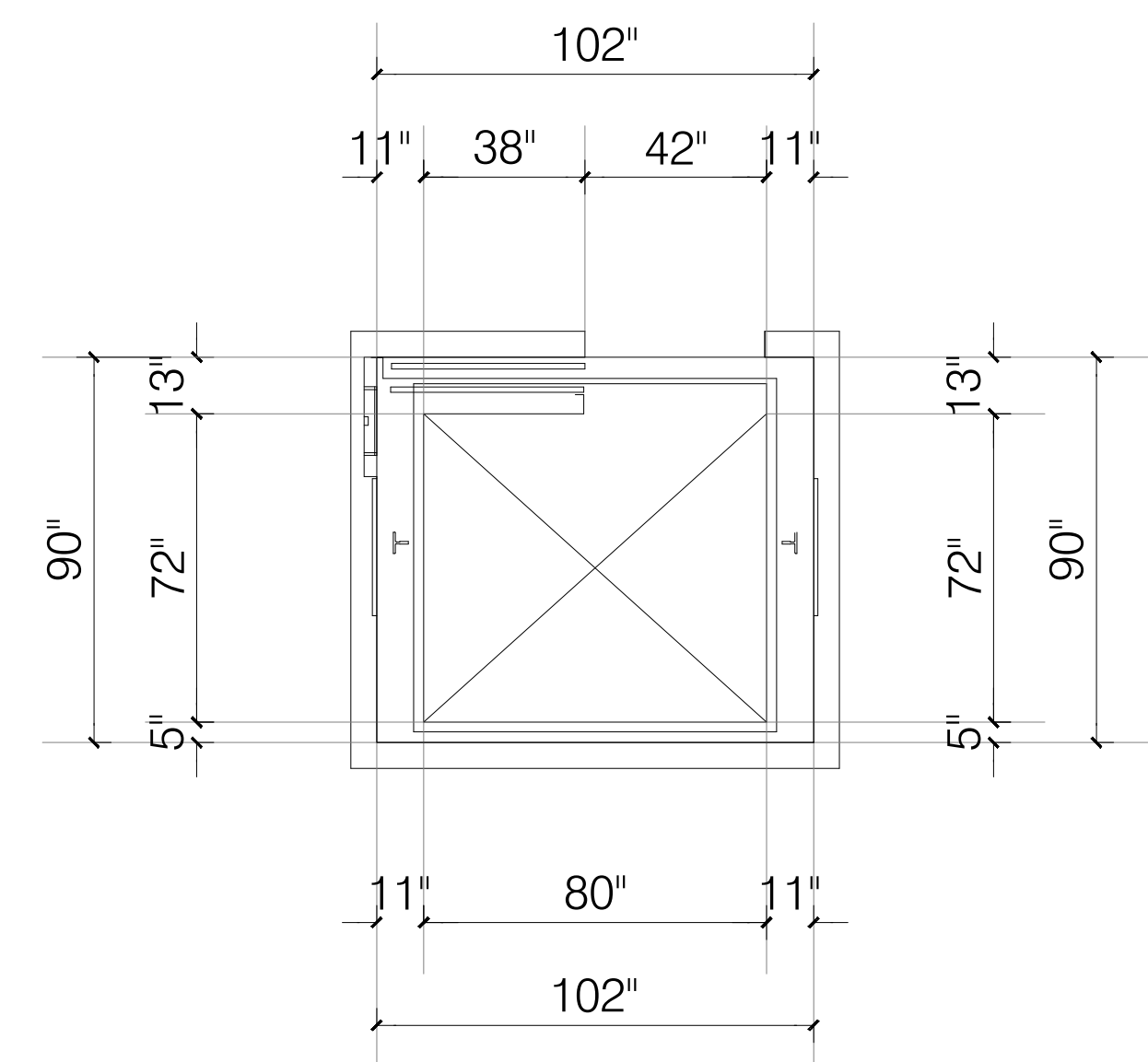
TPY. BATHROOM WATER CLOSET



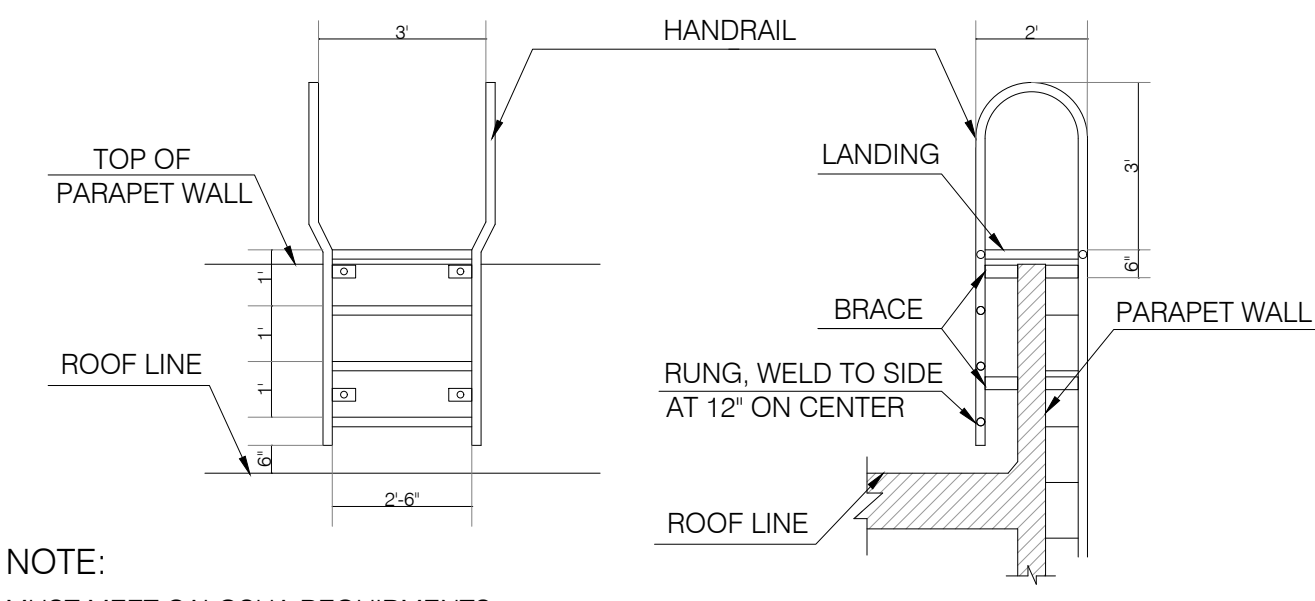
TYP. BATHROOM VANITY AND LAVATORY



TYP. KITCHEN SINK AND LAVATORY CABINET



LOS ANGELES FIRE DEPARTMENT
PARAPET ACCESS ROOF LADDER
(67.12.04) DESIGN SPECIFICATIONS



NOTE:
- MUST MEET CALOSHA REQUIREMENTS
- MUST MEET SEC. 57.12.04. PASSAGEWAYS ON ROOFS.

1123A.5 Striping for the Visually Impaired. The upper approach and the lower tread of each stair along routes required to be accessible, shall be marked by a strip of clearly contrasting color at least a minimum of 2 inches (50.8 mm) wide to a maximum of 4 inches (101.6 mm) wide placed parallel to, and not more than 1 inch (25.4mm) from, the nose of the step or landing to alert the visually impaired. The strip shall be of material that is at least as slip resistant as the other treads of the stair. A painted strip shall be acceptable.

NOTES:

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LEGEND :

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KEYNOTES :

- A 30" 48" 48'X30" CLEAR FLOOR SPACE
- B 15" 15" W. BREADBOARD
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- D 42" 54" 54'X42" CLEAR FLOOR SPACE

W/D:

- WASHER AND DRYE SHALL BE FRONT LOAD (if center is provided, shall be at 34" max. height with 27" min. knee clear at 19" min. deep, typical) COMPLY WITH CODE SECTION (1127.A.10)

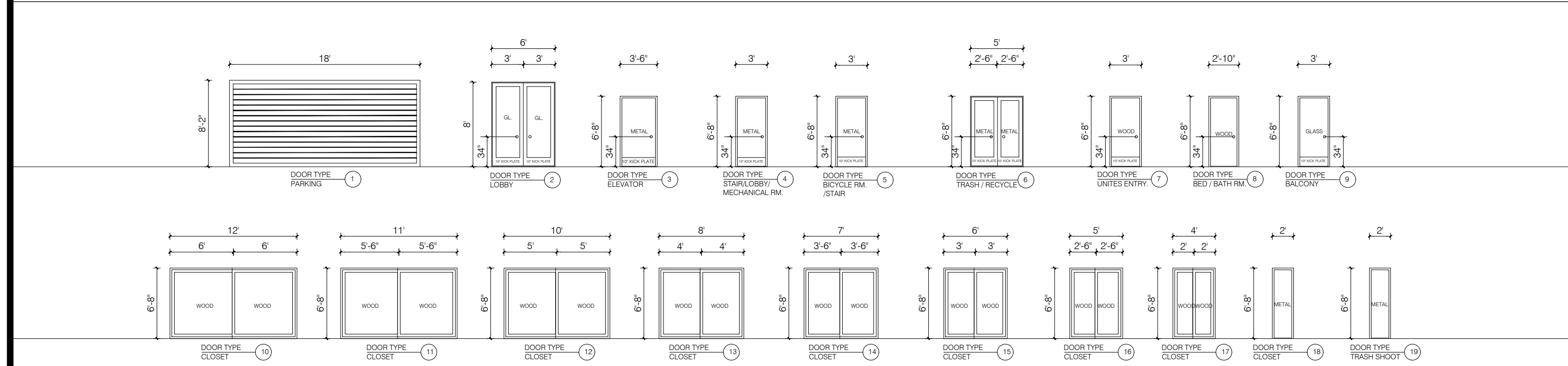
DOOR SCHEDULE

No.	ROOM	DOOR TYPE	FIRE	DIMENSIONS			MATERIALS			FINISHES		REMARKS
				WIDTH	HEIGHT	THICK	DOOR	FRAME	CORE	PAINT	GLASS	
1	GARAGE	SLIDING	-	18'-0"	8'-2"	2"	METAL	METAL	-	PAINT	-	-
2	LOBBY	SWING	-	6'-0"	8'-0"	1-3/4"	WOOD	WOOD	SOLID CORE	PAINT	1/4"	TEMP. GLASS
3	ELEVATOR	SWING	90 MIN.	3'-6"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	WITH SMOKE GASKET AND MAGNETIC CLOSER
4	STAIR / EGRESS / MEC. RM	SWING	90 MIN.	3'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSETING PANIC/FIRE EXIT H/W
5	BICYCLE RM.	SWING	45 MIN.	3'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSETING PANIC/FIRE EXIT H/W
6	TRASH / RECYCLE	SWING	90 MIN.	5'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	SELF CLOSETING WITH GASKET
7	ENTRY	SWING	20 MIN.	3'-0"	6'-8"	1-3/4"	WOOD	WOOD	SOLID CORE	PAINT	-	SELF CLOSETING WITH GASKET
8	BED, BATH ROOM	SWING	-	2'-10"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
9	BALCONY	SLIDING	-	2'-10"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
10	CLOSET	SLIDING	-	12'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
11	CLOSET	SLIDING	-	11'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
12	CLOSET	SLIDING	-	10'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
13	CLOSET	SLIDING	-	8'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
14	CLOSET	SLIDING	-	6'-8"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
15	CLOSET	SLIDING	-	6'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
16	CLOSET	SLIDING	-	5'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
17	CLOSET	SLIDING	-	4'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
18	CLOSET	SWING	-	2'-0"	6'-8"	1-1/2"	WOOD	WOOD	-	PAINT	-	-
19	TRASH CHUTE	SWING	90 MIN.	2'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	WITH GASKET AND MAGNETIC CLOSER
20	ROOF STAIRCASE	SWING	90 MIN.	3'-0"	6'-8"	1-3/4"	METAL	METAL	SOLID CORE	PAINT	-	WITH SMOKE GASKET AND PANIC OR FIRE EXIT HARDWARE
20	RECREATION RM.	SWING	20 MIN.	2x3'-0"	6'-8"	1-3/4"	WOOD	WOOD	SOLID CORE	PAINT	-	WITH SMOKE GASKET AND PANIC OR FIRE EXIT HARDWARE

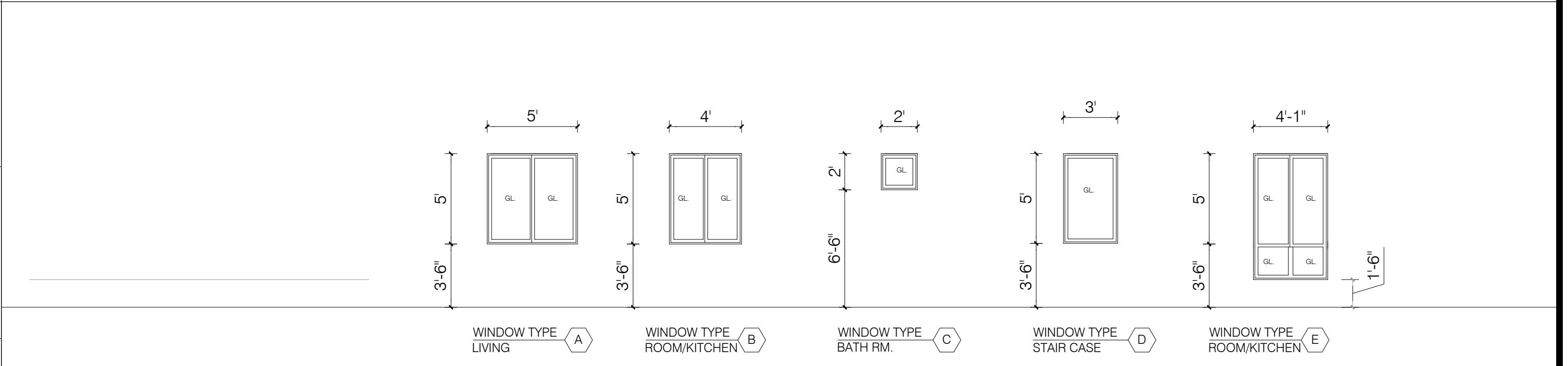
WINDOW SCHEDULE

No.	ROOM	WINDOW TYPE	FIRE	DIMENSIONS			MATERIALS			FINISHES		REMARKS
				WIDTH	HEIGHT	THICK	DOOR	FRAME	CORE	PAINT	GLASS	
A	LIVING RM.	SLIDING	-	5'-0"	5'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED
B	BED. / DINING	SLIDING	-	4'-0"	5'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED
C	BATH RM.	SLIDING	-	2'-0"	2'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED
D	STAIR CASE	FIXED	-	3'-0"	5'-0"	1-3/4"	VINYL	VINYL	-	-	1/4"	DUAL GLAZED

DOOR ELEVATION AND TYPE



WINDOW ELEVATION AND TYPE



NOTE (DOORS):

1. EXIT DOORS SHALL NOT BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED. "APPLIES ALSO TO EXIT GATES". THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1003.3.18)
2. DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7.75' LOWER THAN THE FLOOR IF IT DOES NOT SWING OVER IT (UBC 1004.9).
3. INTERIOR WALL AND CEILING FINISHES ARE CLASS C.
4. ALL FIRE RATED DOORS NEED TO BE SMOKE AND DRAFT CONTROLLED PER SEC. 716.5 LABC
5. ALL RATED CORRIDOR CONSTRUCTION AND PROTECTED OPENINGS IN ACCORDANCE TO SECTION 709 FOR PARTITIONS, PROTECTIONS TO BE OF A 20MIN. DOORS AND 45MIN. FOR OTHER OPENINGS.
6. PANIC/FIR EXIT HARDWARE SHALL INSTALLED AT DOORS SERVING ROOMS/SPACES WITH AN OCCUPANT LOAD OF 50 OR MORE. (1008.1.10) OPENING PROTECTIVE SHALL BE PER SECTION TABLES 716.5 AND 716.6. DOORS SHALL BE 45 MIN. FIRE RATED AND WINDOWS SHALL BE 45 MIN. FIRE RATED (716)
7. ALL DOORS HANDLES SHALL BE 34" IN HEIGHT

NOTE (WINDOWS):

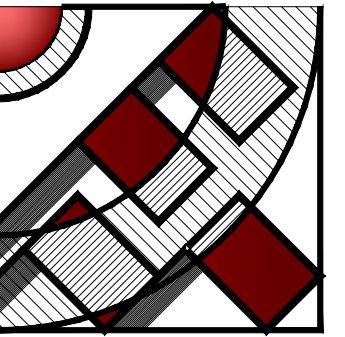
1. BEDROOMS SHALL HAVE AN EGRESS WINDOW WITH SIZE AND HEIGHT AT MAX. 44" SILL HEIGHT. EACH BEDROOM, OFFICE & MAID'S ROOM SHALL HAVE AN EGRESS WINDOW COMPYING WITH SEC. 310.04 CBC.
2. INTERIOR WALL AND CEILING FINISHES ARE CLASS C.

NOTE (FINISHING):

1. FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 802. / 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.5 AND SECTION 803.1.

MATERIAL & FINISH SCHEDULE

ROOM	FINISH										MATERIAL					
	FLOOR		BASE	WALL		CEILING	FLOOR		WALL	CEILING						
1	LIVING ROOM	CARPET	VINYL	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
2	DINING ROOM	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
3	BED ROOM	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
4	KITCHEN	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
5	CLOSET	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
6	BATH ROOM	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
7	MR. BATH ROOM	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
8	CLOSET	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
9	PARKING	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
10	LAUNDRY	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
11	DECK / BALCONY	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
12	CORRIDOR	VINYL	CERAMIC TILE	WOOD	FLAT PAINT	CONCRETE	CONCRETE	CONCRETE	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	PLYWOOD	5/8" GYP. BD.	EXTERIOR STUCCO	CONCRETE	
13																



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19730 VENTURA BLVD. #5 WOODLAND HILLS, CALIFORNIA 91364
TEL.: (818) 932-0393 FAX: (818) 932-0419

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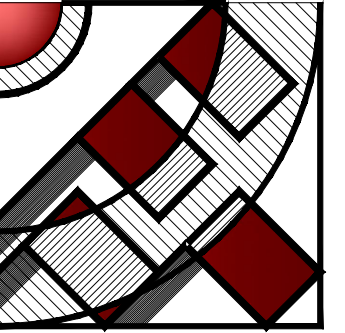
6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:
DOOR / WINDOW SCHEDULE

REVISION:
NO. DATE BY

SCALE: -
DESIGN & DRAWN: FMI
DATE: 10.02.21
JOB NUMBER:

SHEET



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PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

DETAILS

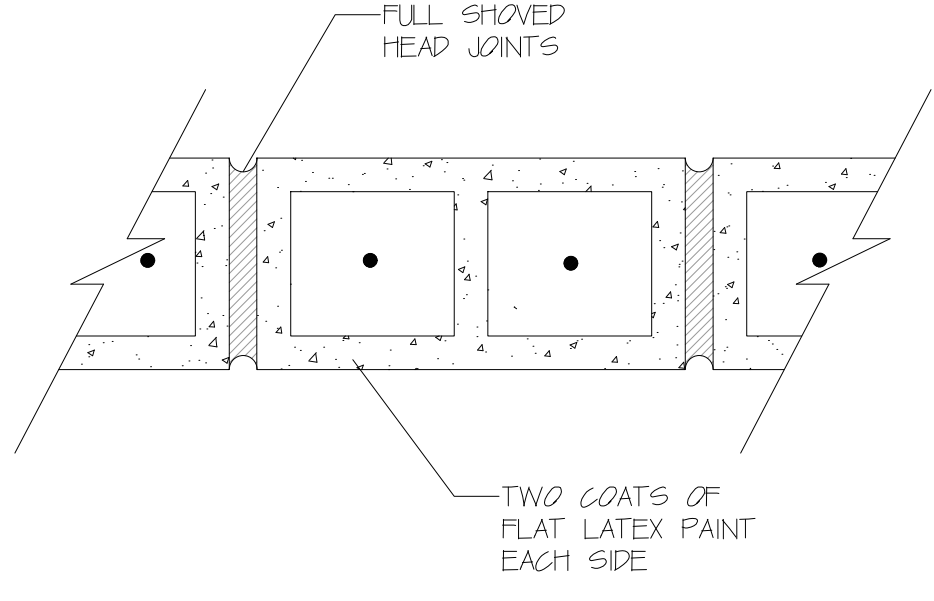
REVISION:

NO.	DATE	BY

SCALE: -
DESIGN & DRAWN: FMI
DATE: 10.02.21
JOB NUMBER:

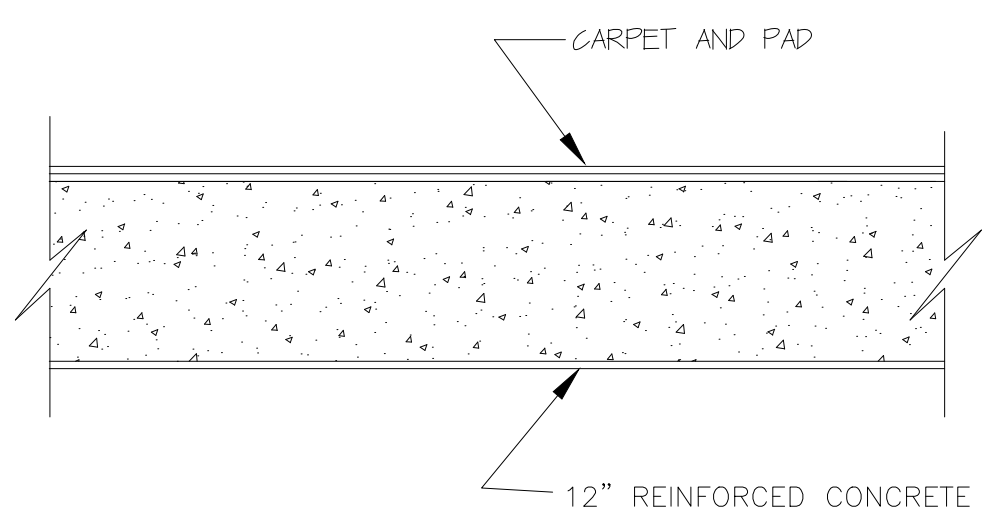
SHEET

AD-1



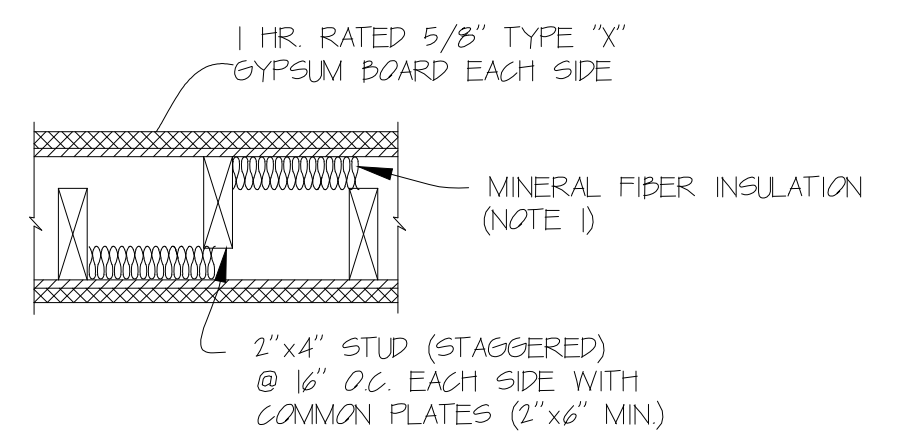
NOTES:
2" CONCRETE BLOCK ALL CELLS FILLED

1 BLOCK WALL (2-HR FIRE RATED)



NOTES:
ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES SHALL BE SEALED, LINED OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.

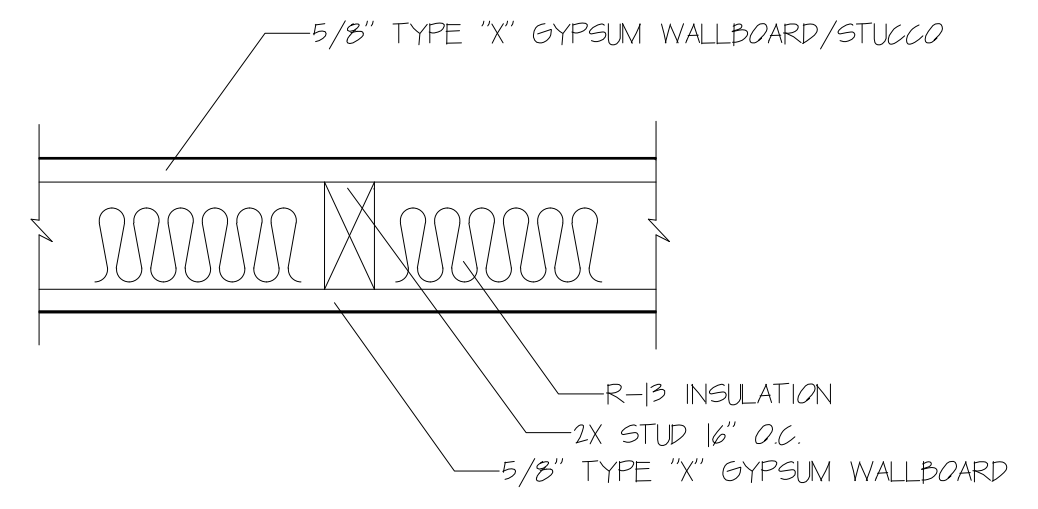
2 CONCRETE SLAB



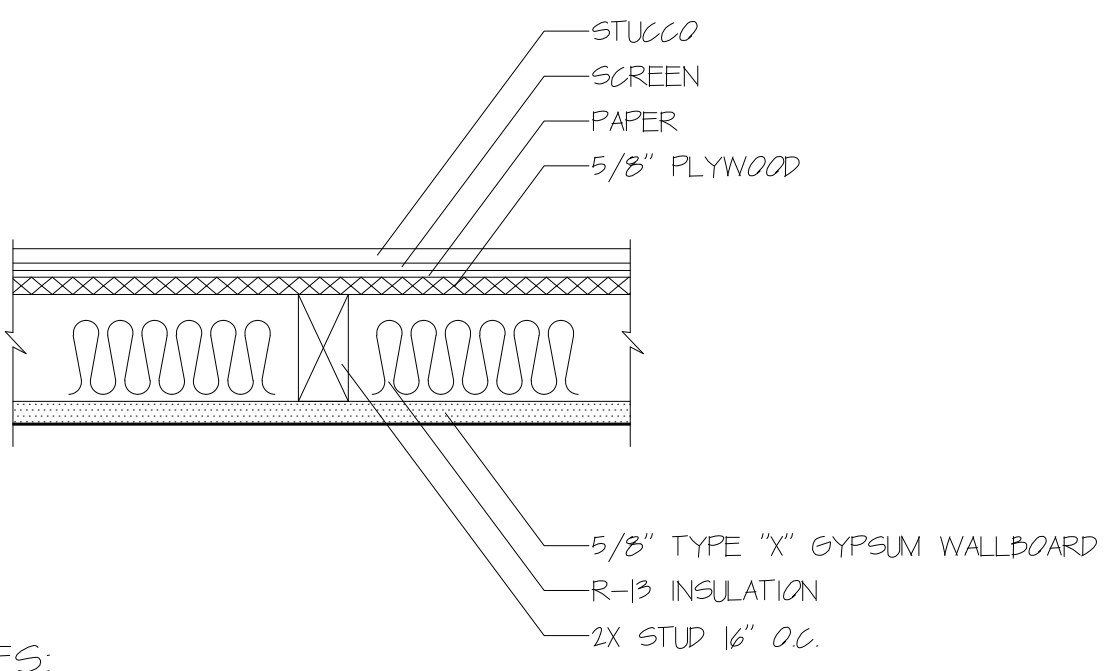
5/8" FIRE-SHIELD WALL BOARD BASE LAYER APPLIED VERTICALLY, NAILED 12" O.C. FACE LAYER 5/8" FIRE-SHIELD WALLBOARD APPLIED HORIZONTALLY, NAILED 8" O.C. DOUBLE ROW OF 2x6 WOOD STUDS 16" O.C. ON SEPARATED PLATES, SOUND RATING WITH 3 1/2" MINERAL WOOL OR GLASS FIBER IN CAVITY

NOTES:
1- THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION RR-1-521B.
2- NO TEST IS ON FILE TO JUSTIFY AN STC 50 WITH ONE 5/8" TYPE 'X' GYPSUM BOARD

3 ONE HOUR SEPARATION WALL (STC 50)

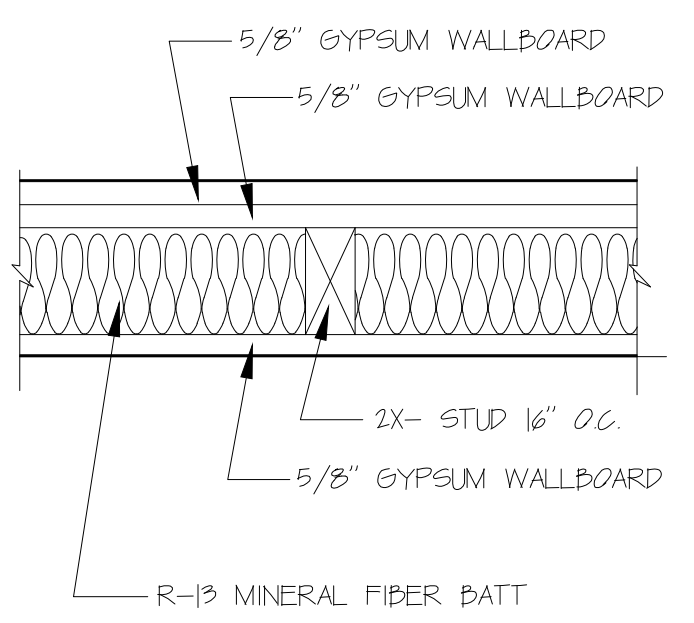


4 INTERIOR WALL (1-HR FIRE RATED (STC50))

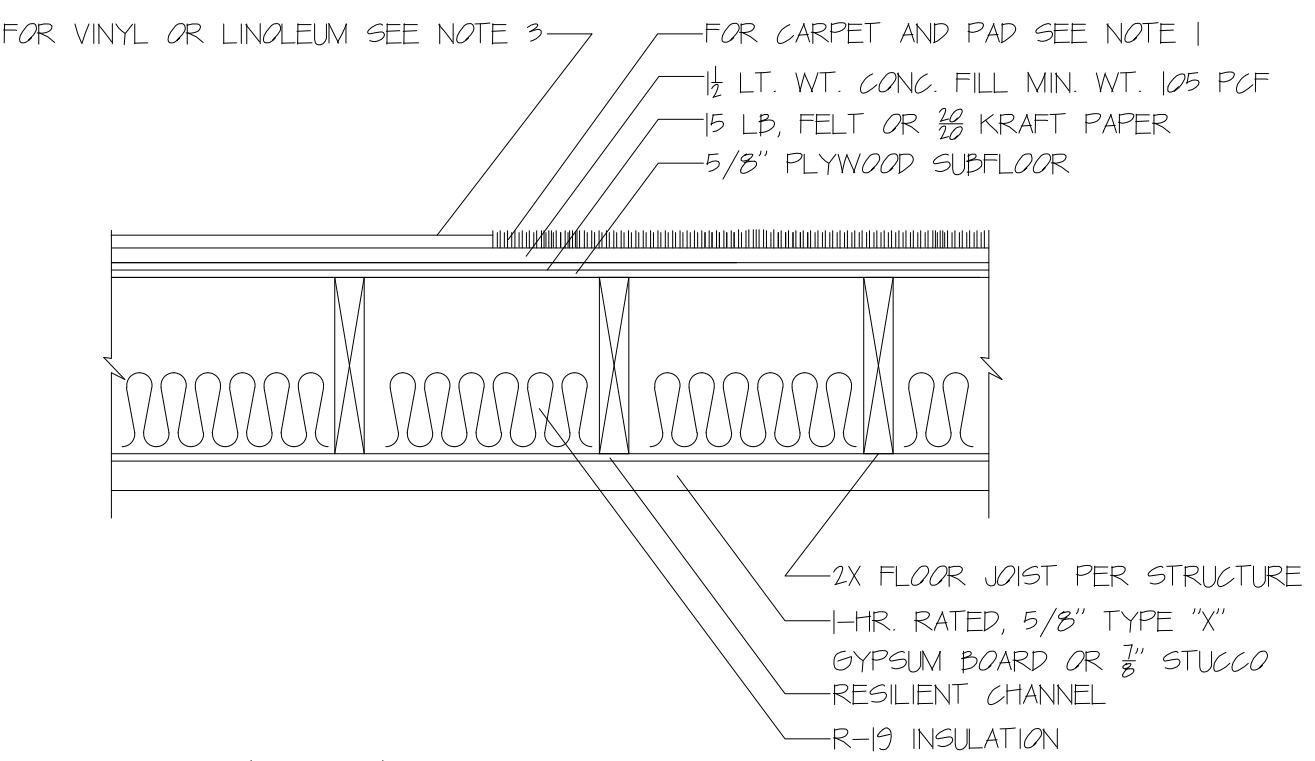


NOTES:
1- WALL FIRE PROTECTION ASSEMBLIES ITEM NUMBER 15-13 PER TABLE 7201(2)
2- 5/8" FIRE-SHIELD GYPSUM WALLBOARD INSIDE & 5/8" PLYWOOD OUTSIDE 2X STUDS 16" O.C.

5 EXTERIOR WALL 1-HR FIRE RATED (STC50)

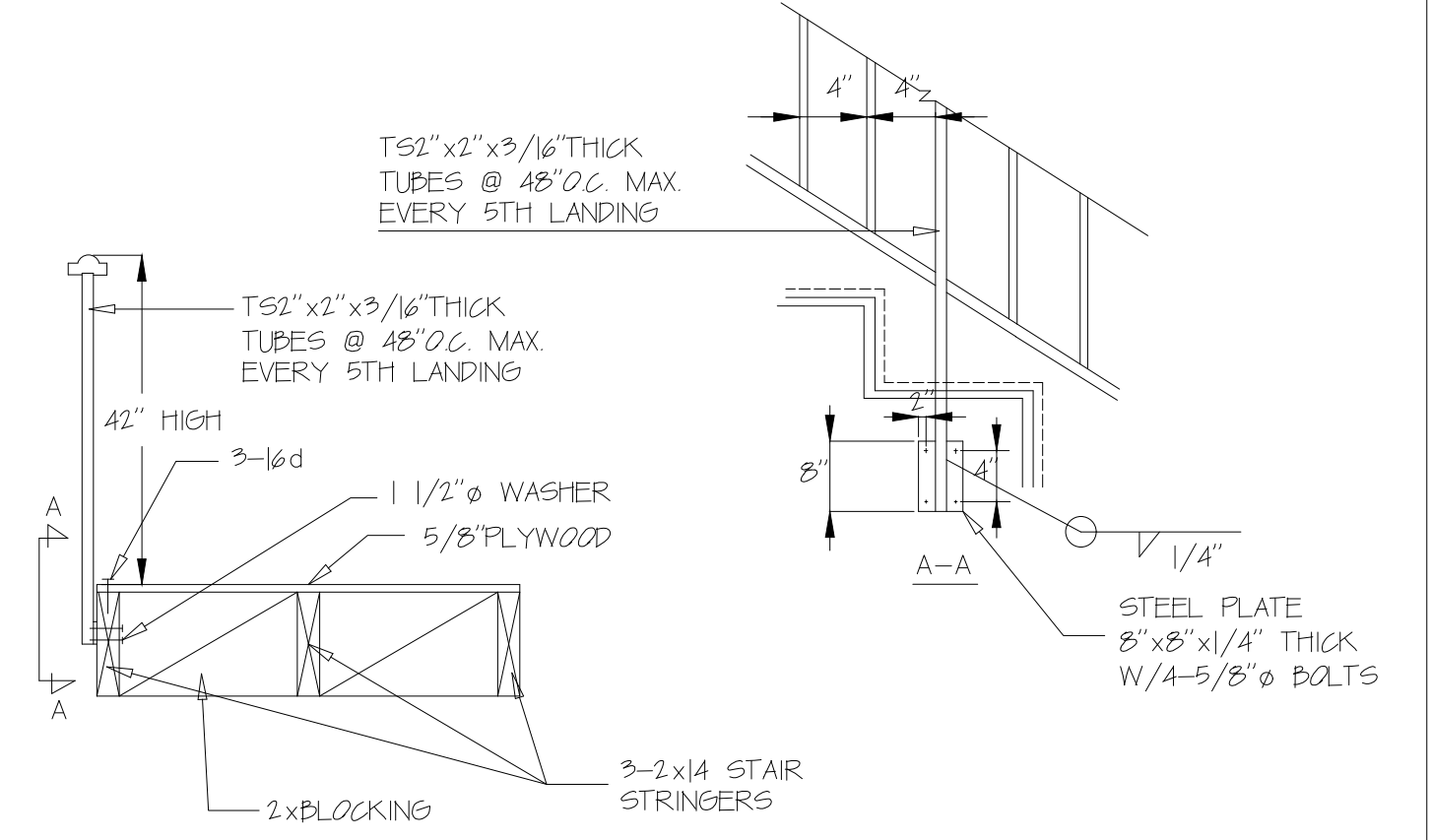


6 INTERIOR WALL 2-HR FIRE RATED

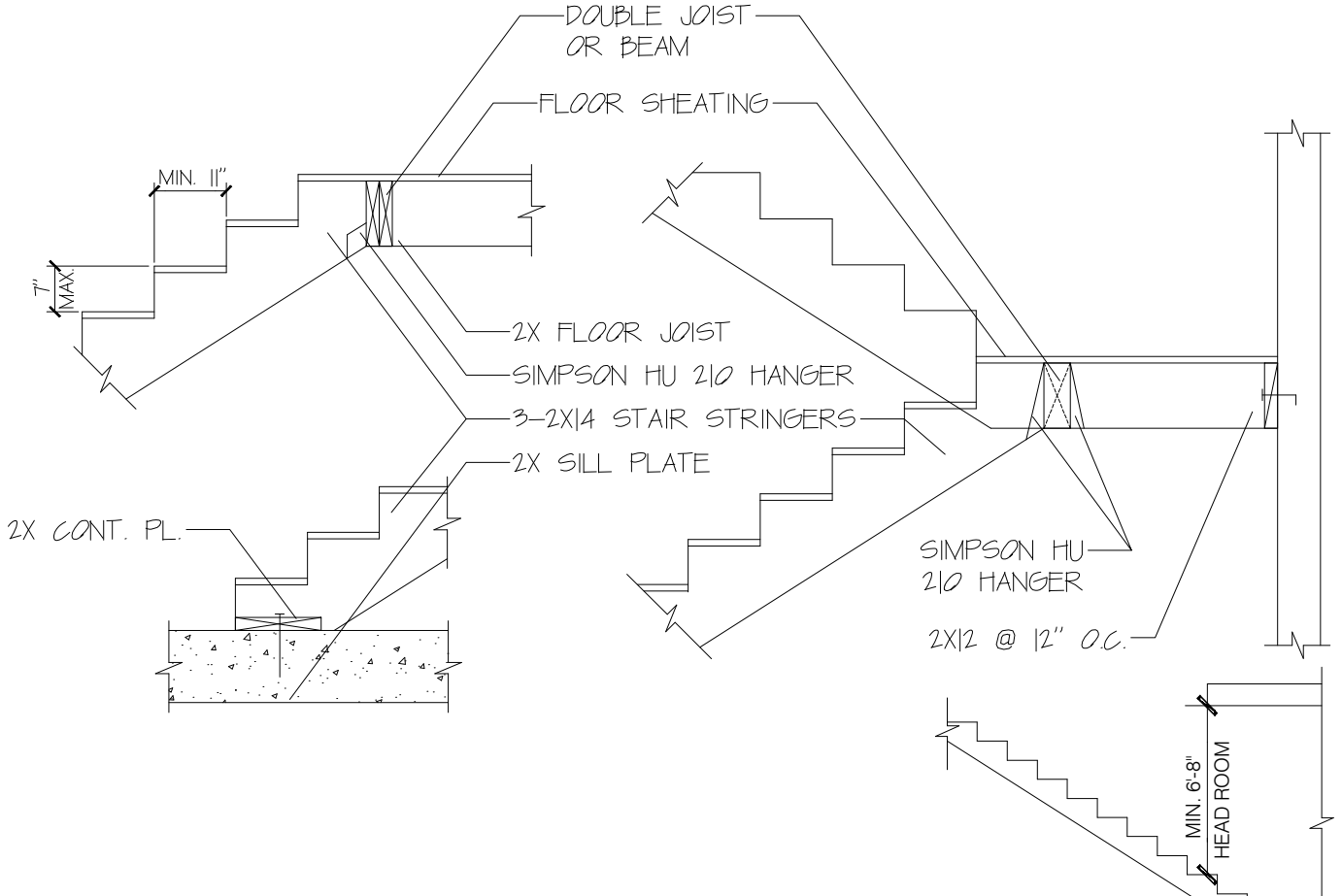


NOTE:
- 13 OZ FACE WT. CARPET (91 OZ TOT) AND 40 OZ JUTTED PAD
- SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH 1/8" MINIMUM THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS
- FLOOR FIRE PROTECTION ASSEMBLIES ITEM NUMBER: 2-11 PER TABLE 7201(3)

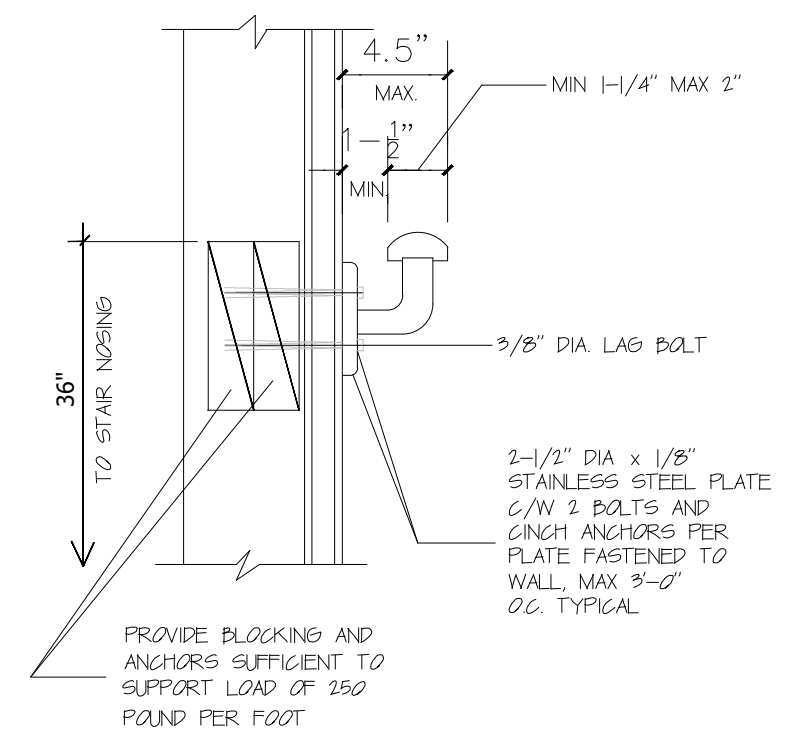
7 TYPICAL FLOOR-IIC 50- 1 HR RATED



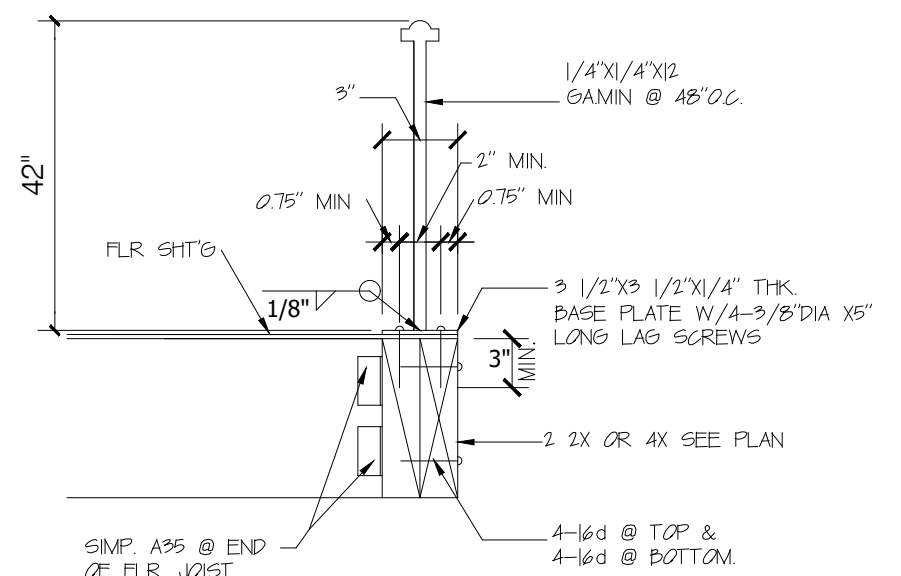
8 GUARD RAIL (STAIR CASE)



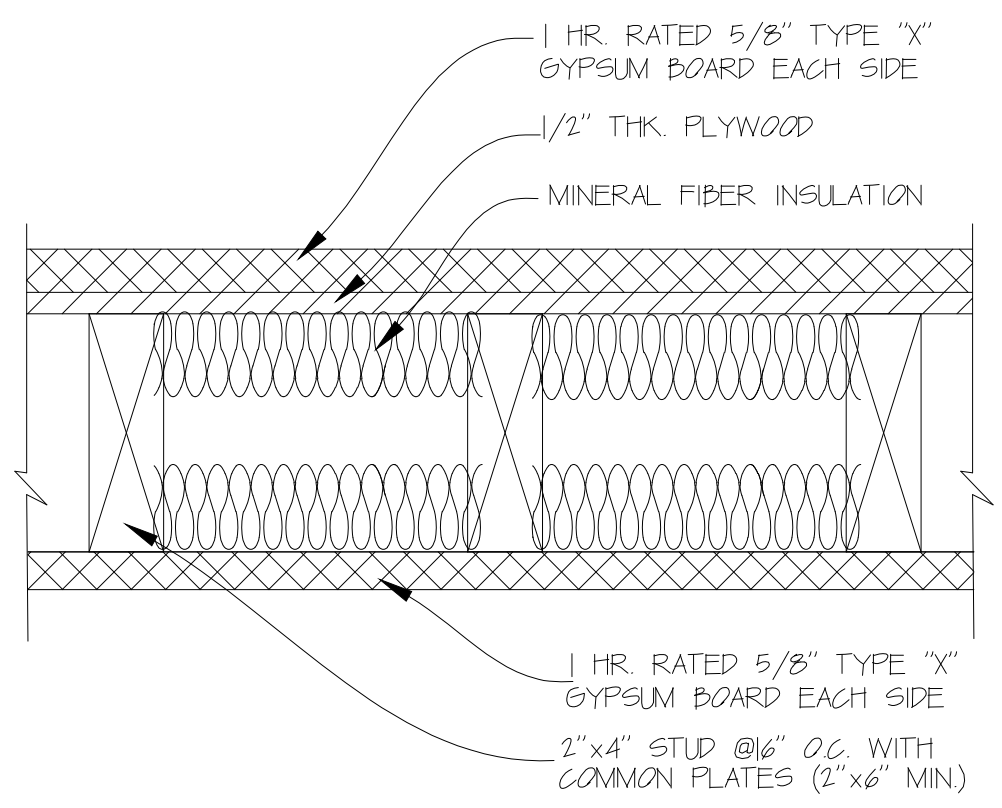
9 WOOD STAIR DETAILS @ FLOORS & LANDING



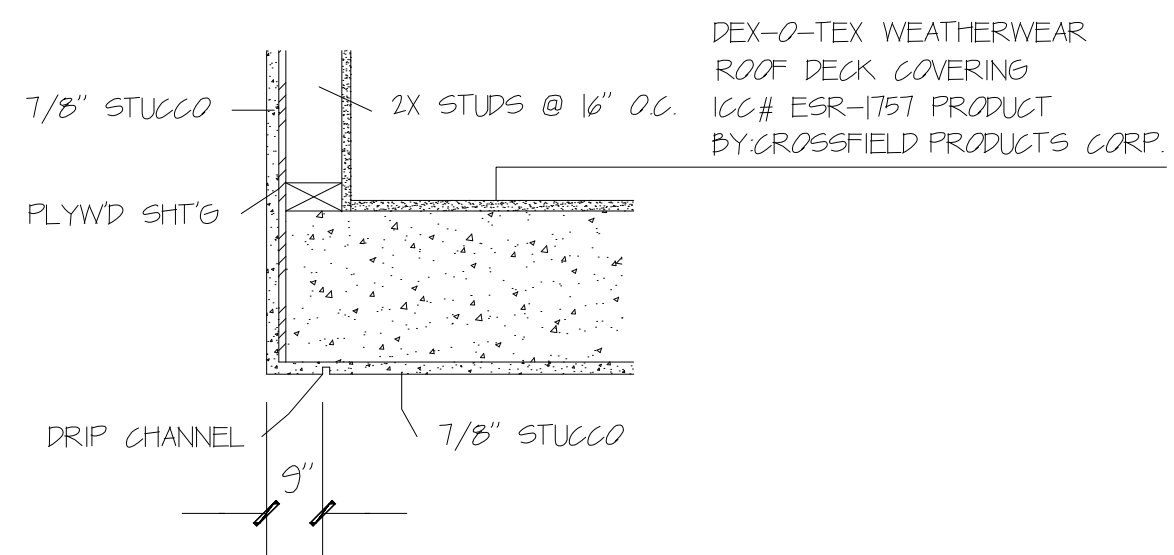
10 WALL-MOUNTED HANDRAIL



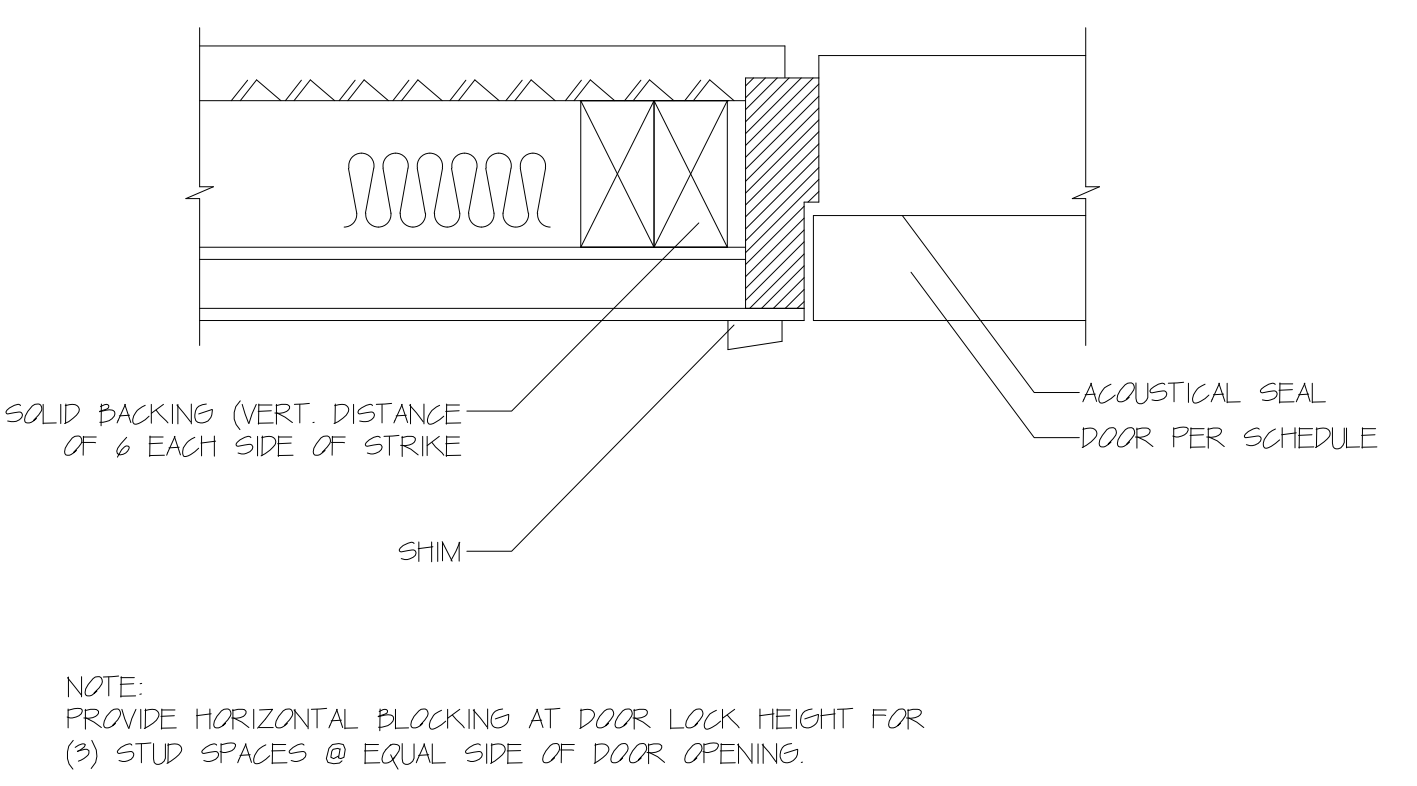
11 BALCONY GUARDRAIL



12 ONE HOUR SEPARATION WALL ALONG CORRIDOR

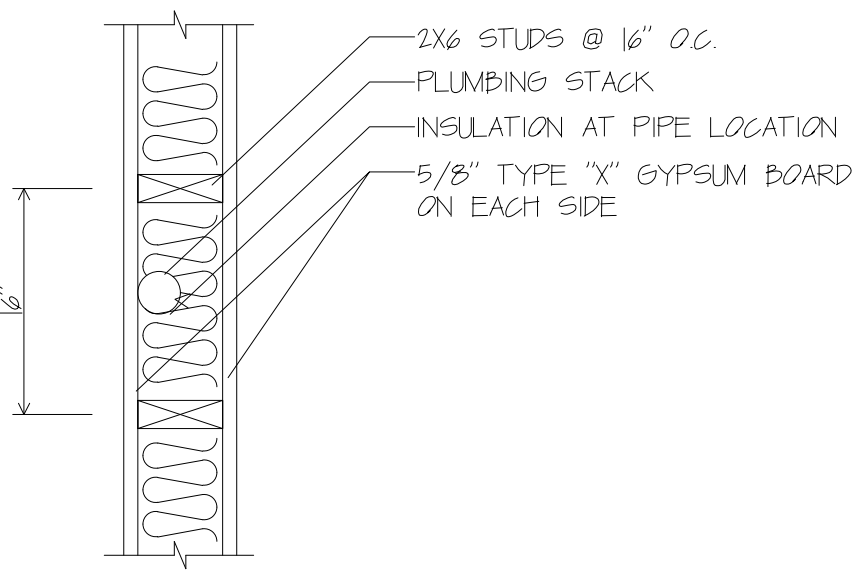


13 CANTILEVER / BALCONY

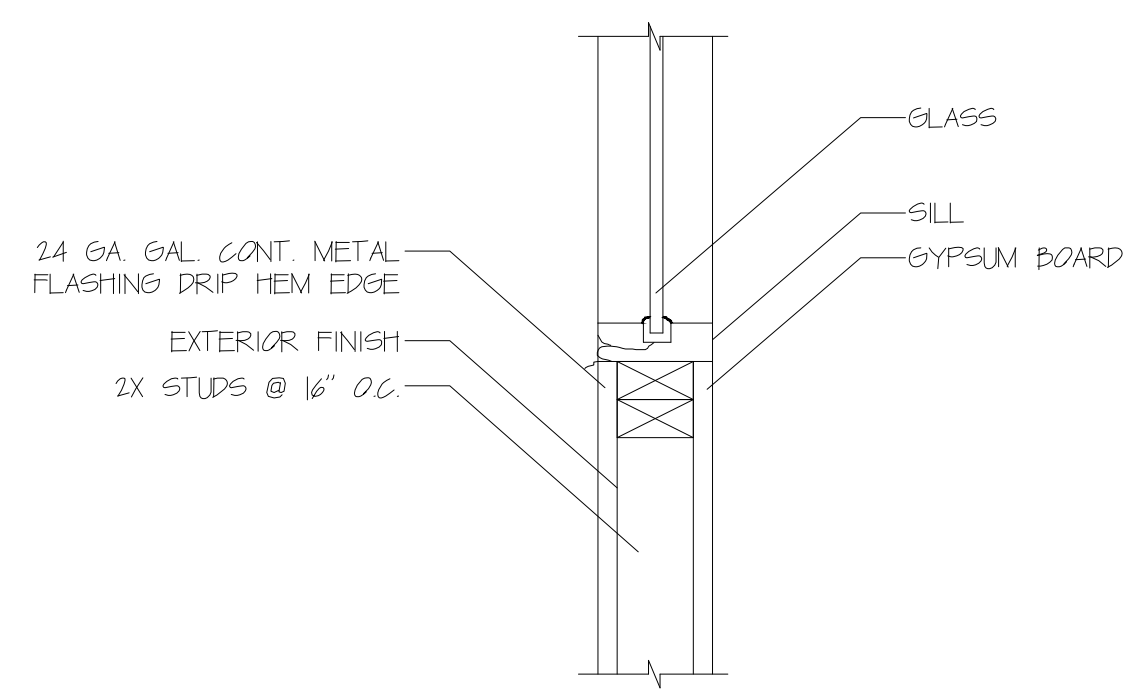


NOTE:
PROVIDE HORIZONTAL BLOCKING AT DOOR LOCK HEIGHT FOR (3) STUD SPACES @ EQUAL SIDE OF DOOR OPENING.

14 DOOR JAMB

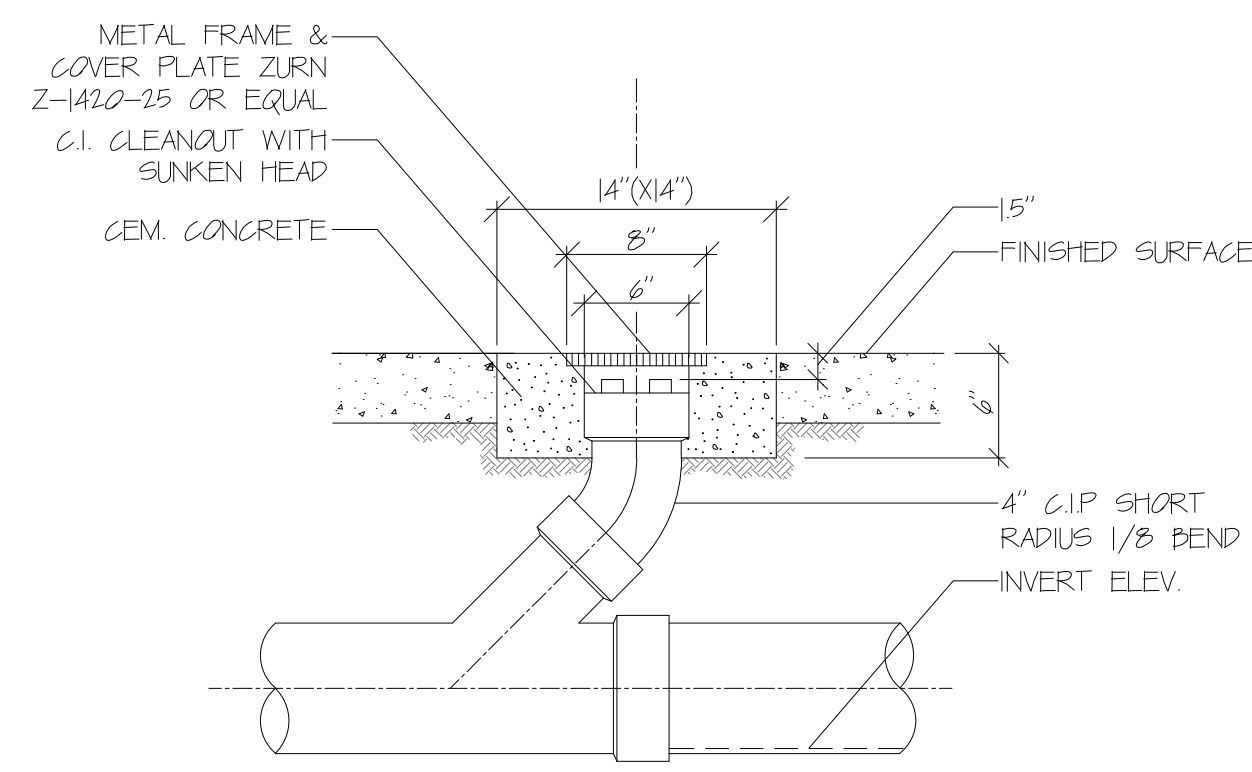


15 TYPICAL 1-HR PLUMBING WALL

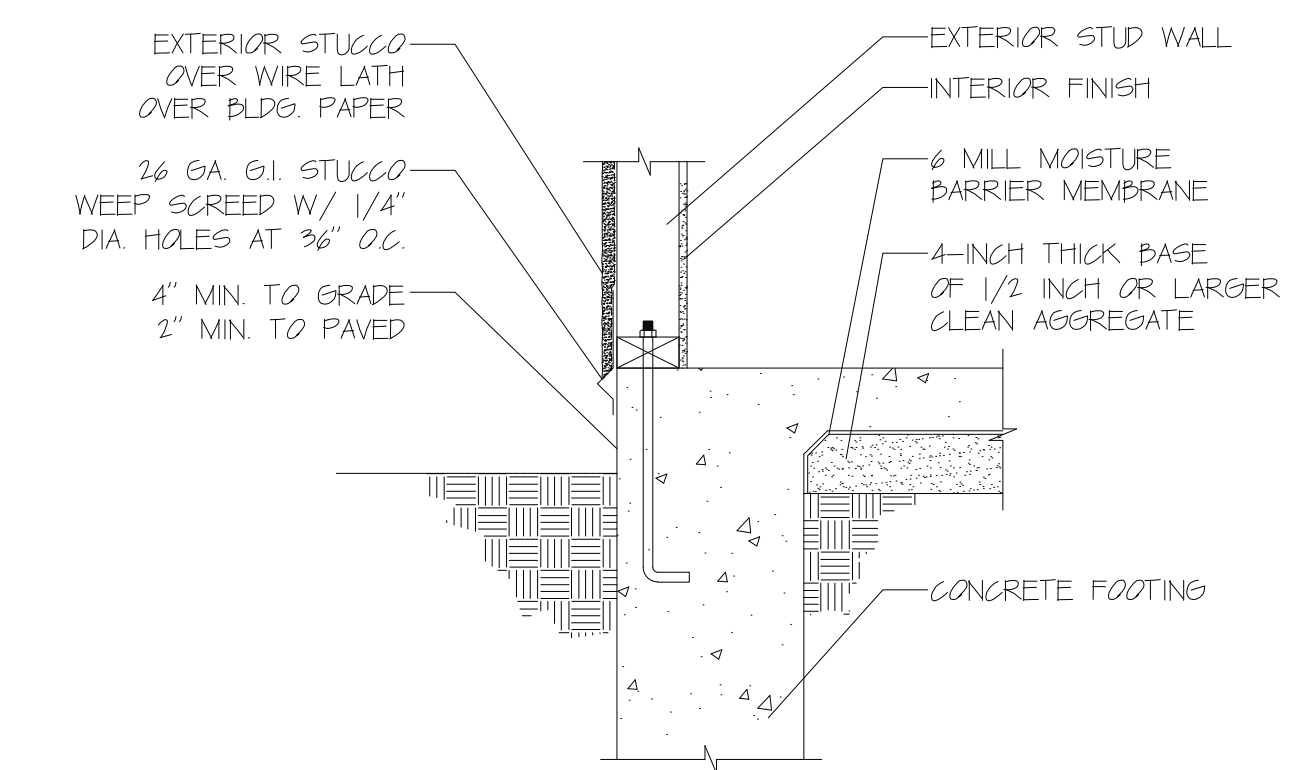


NOTE:
LAG. DEPUTY INSPECTOR IS REQUIRED FOR ANY FIELD WELD.

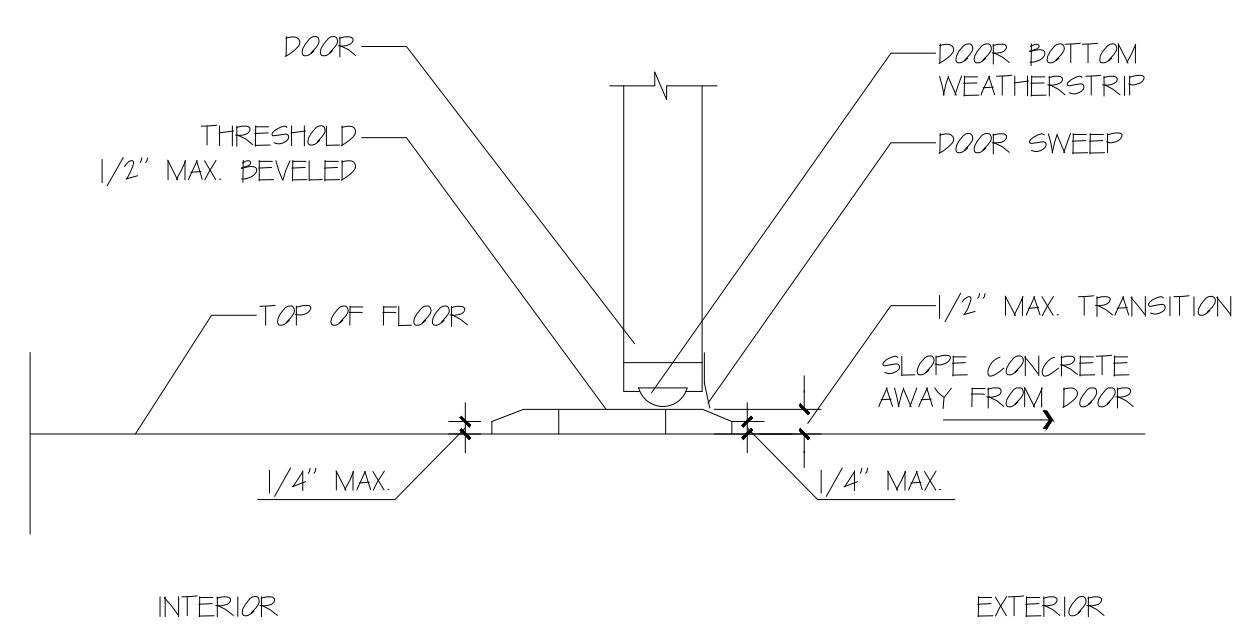
16 EXTERIOR FLASHING



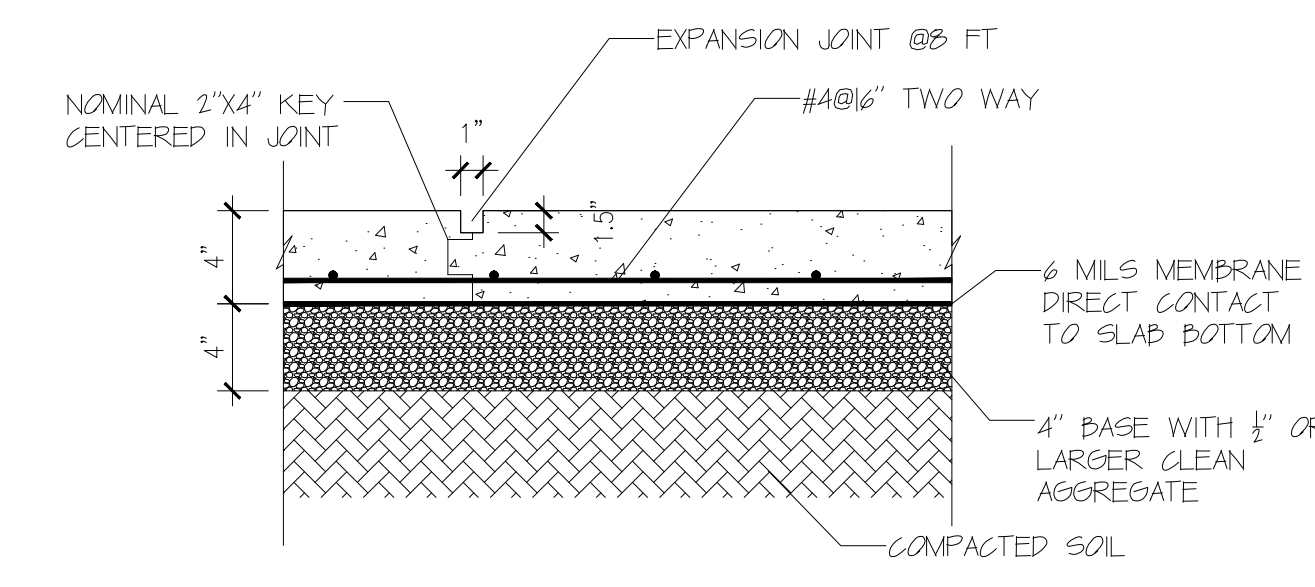
1 FLOOR DRAIN-CLEANOUT DETAIL



2 CONCRETE SLAB AND STUCCO SCREED DETAIL



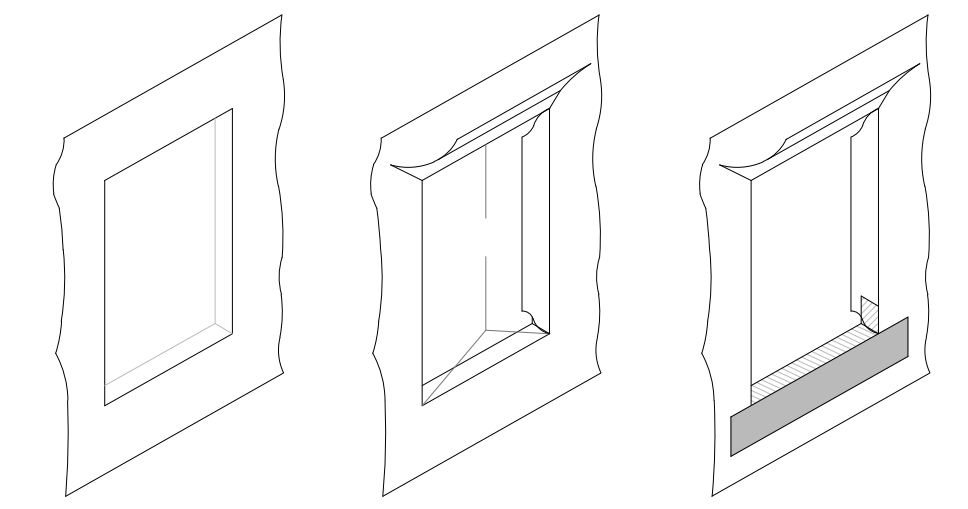
3 DOOR THRESHOLD



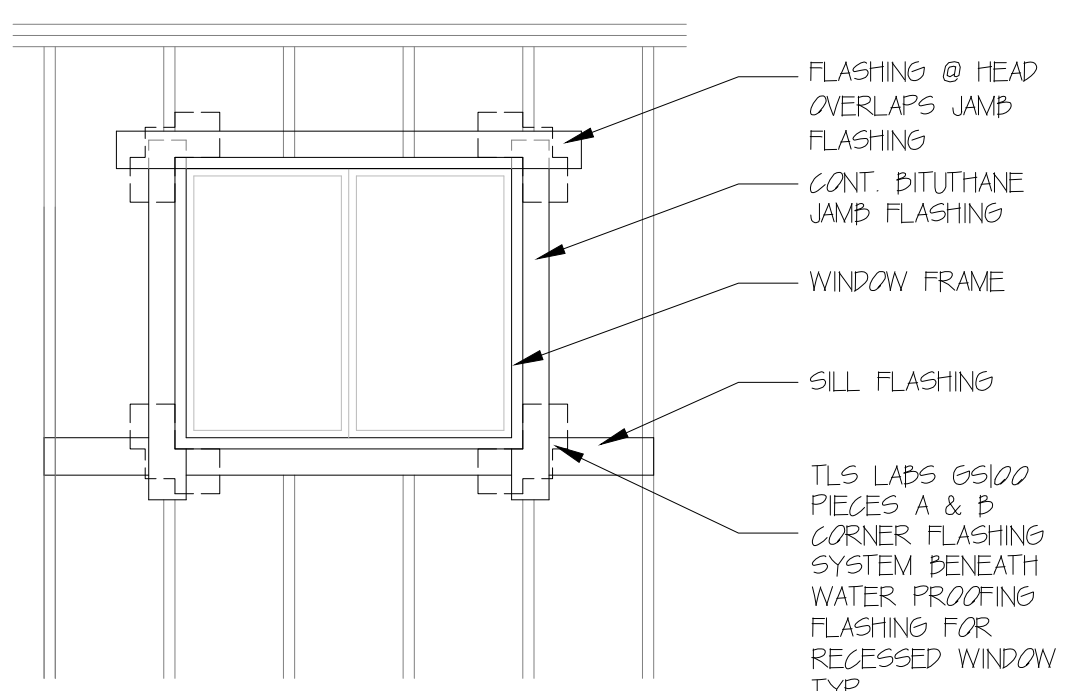
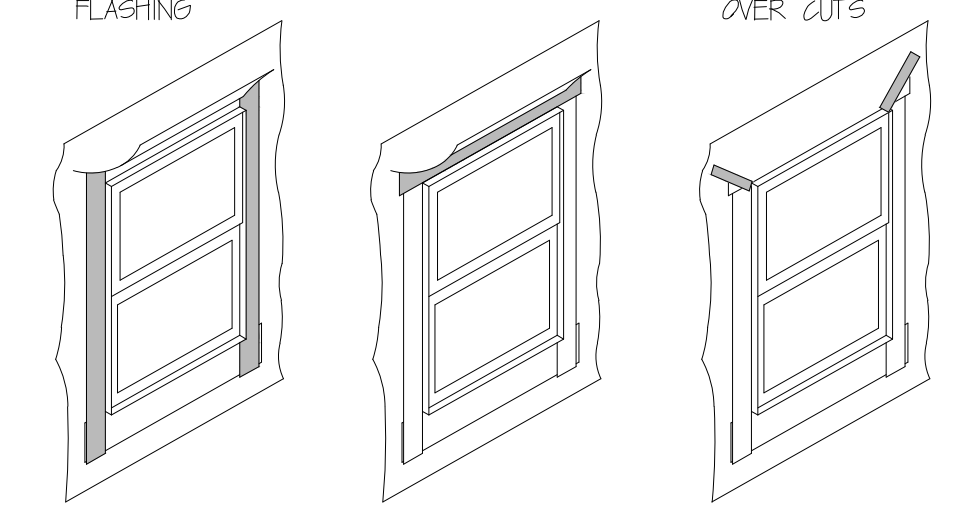
4 SLAB ON GRADE

NOTE:
4" CONC. SLAB ON GRADE W/ #4 @ 16" EACH WAY BASED ON 4" THICK OF 1/2" OR LARGER CLEAN AGGREGATE W/ A VAPOR BARRIER CONTACTING TO CONCRETE SLAB. EXPANSION JOINT @ INTERVALS OF 8 FT.(TYP.)

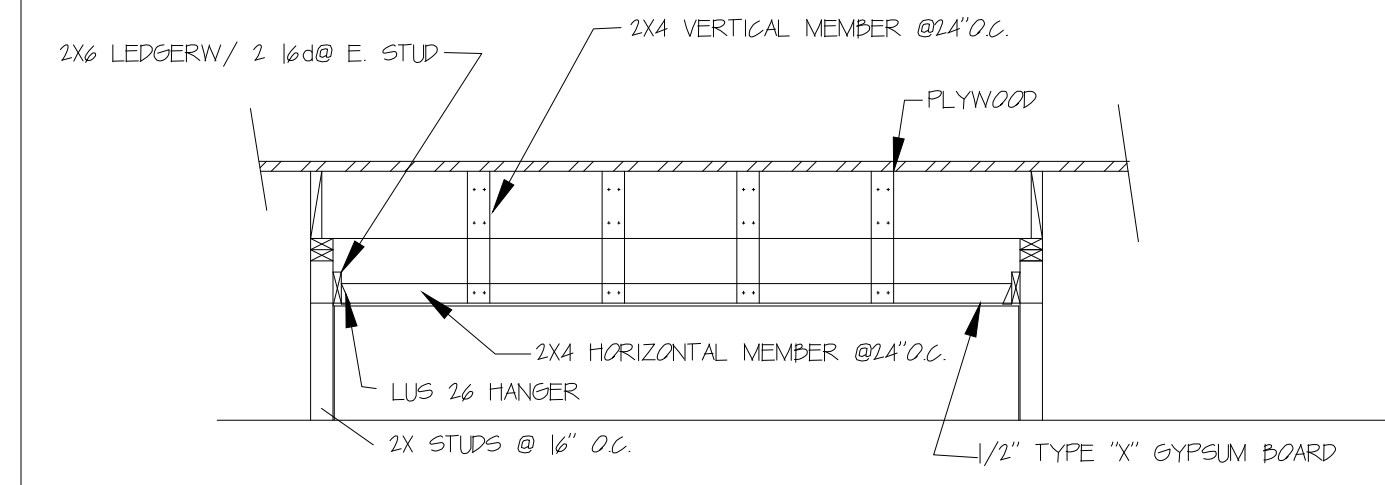
- 1 CREATE WINDOW OPENING
- 2 APPLY HOUSE WRAP AND CUT MODIFIED 1
- 3 APPLY SILL FLASHING AND WINDOW SEALANT



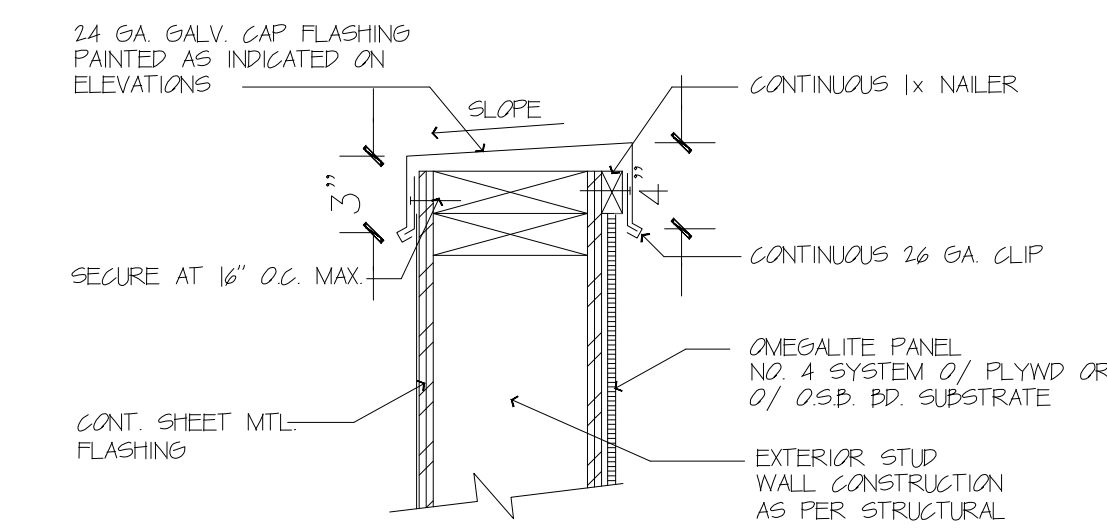
- 4 INSTALL WINDOW AND APPLY JAMB FLASHING
- 5 APPLY HEAD FLASHING
- 6 FOLD HOUSEWRAP DOWN AND TAPE OVER CUTS



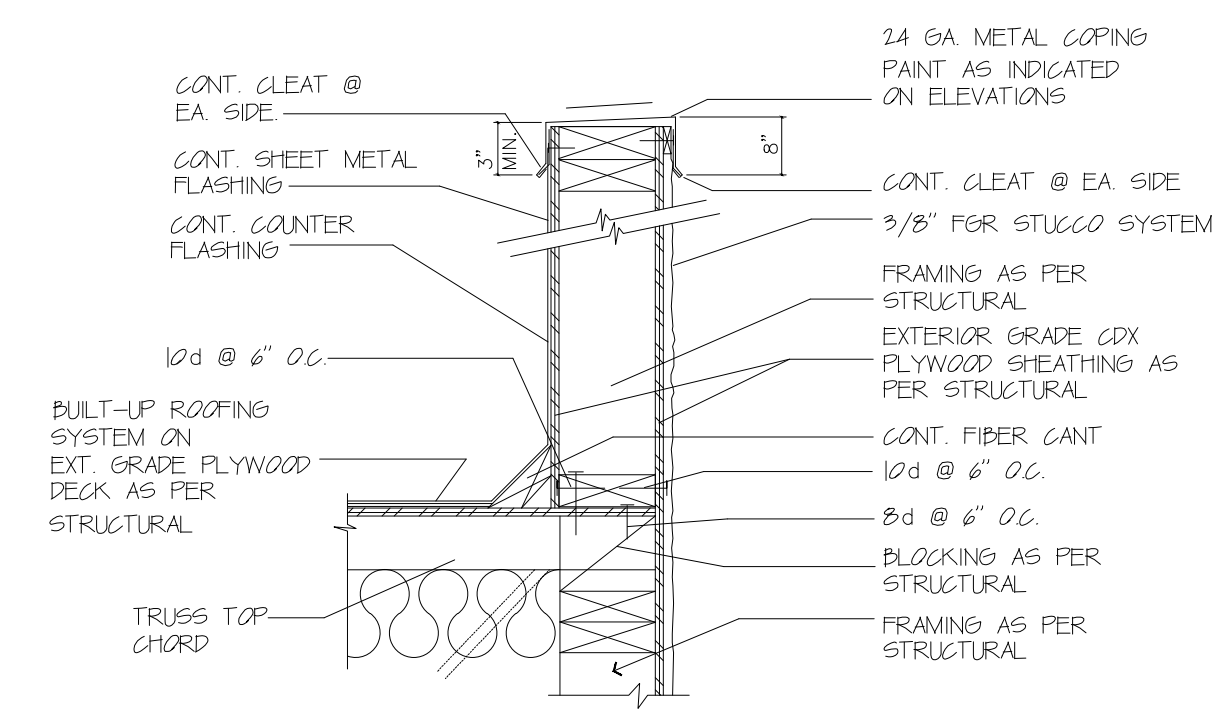
5 WATER PROOFING @ OPENINGS DETAIL



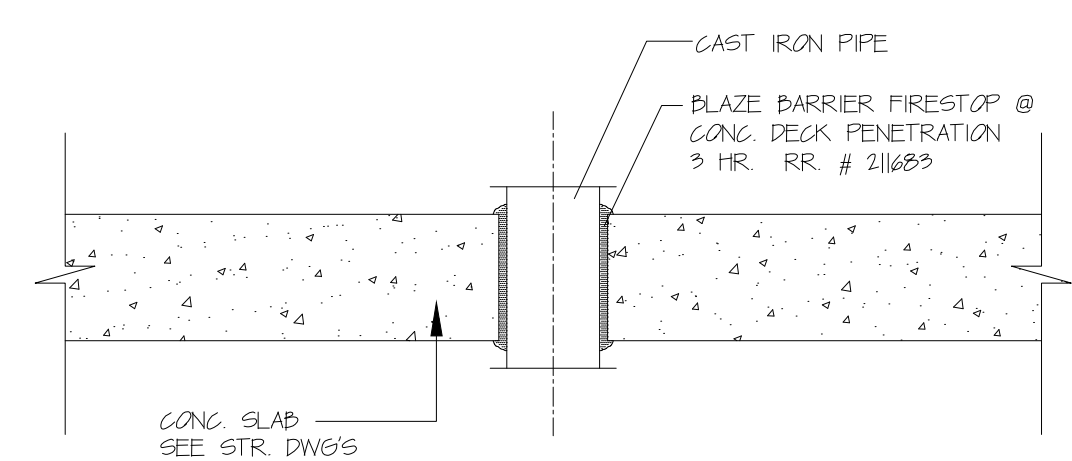
6 SOFFITS DETAIL



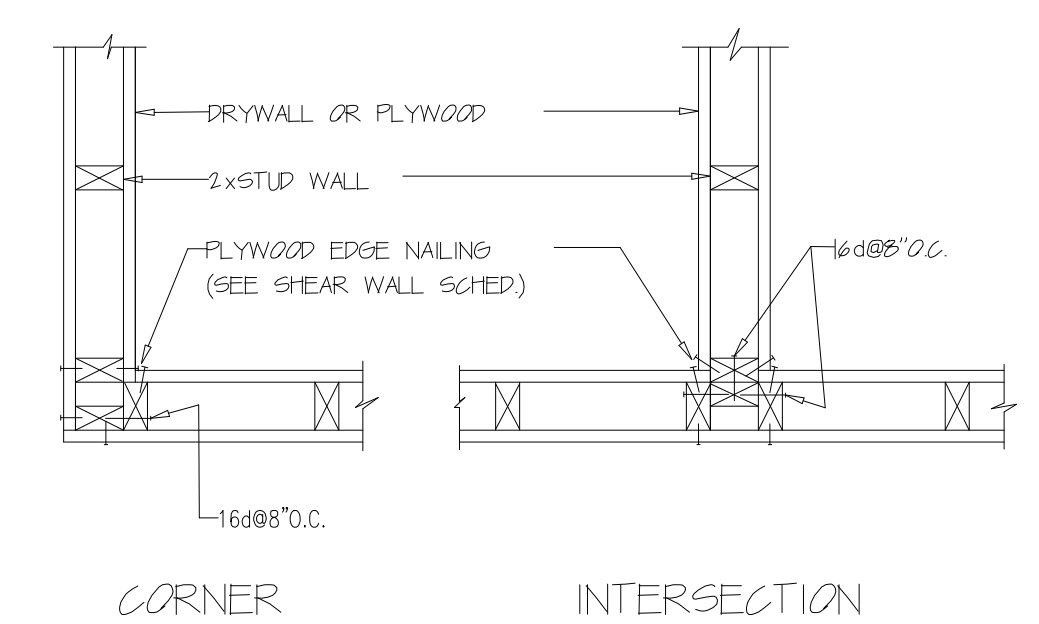
7 PARAPET CAP



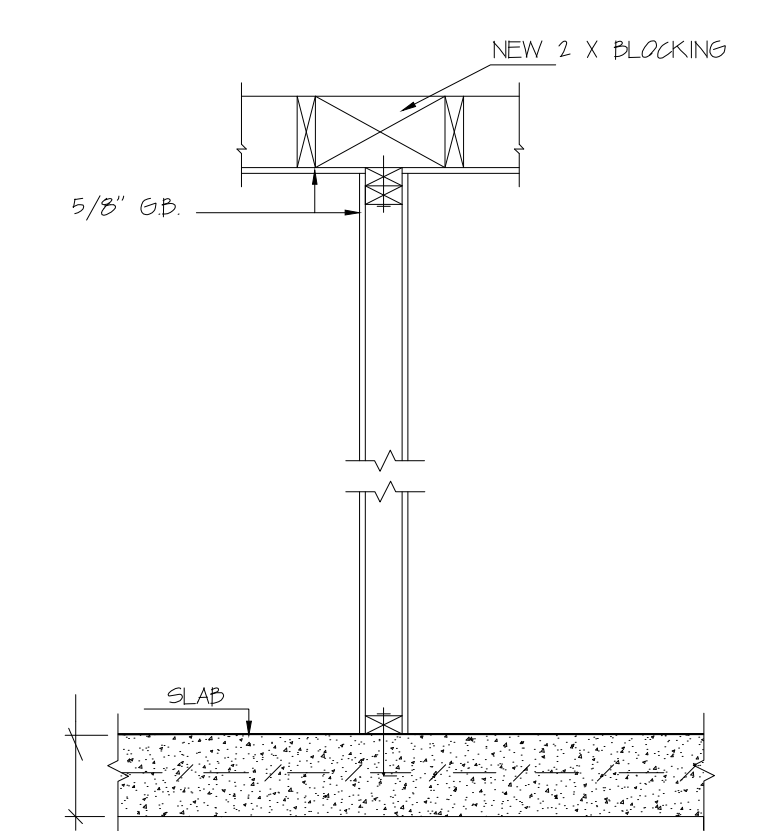
8 TYPICAL PARAPET



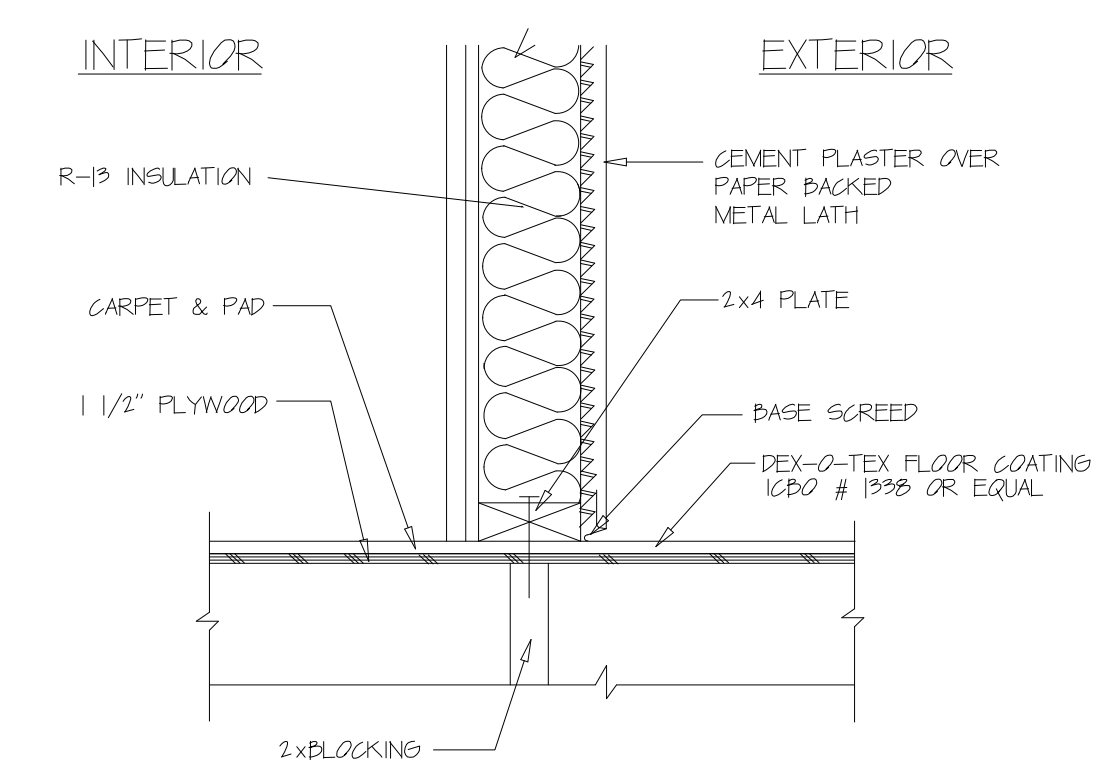
9 PENETRATION DETAIL THROUGH CONC. DECK



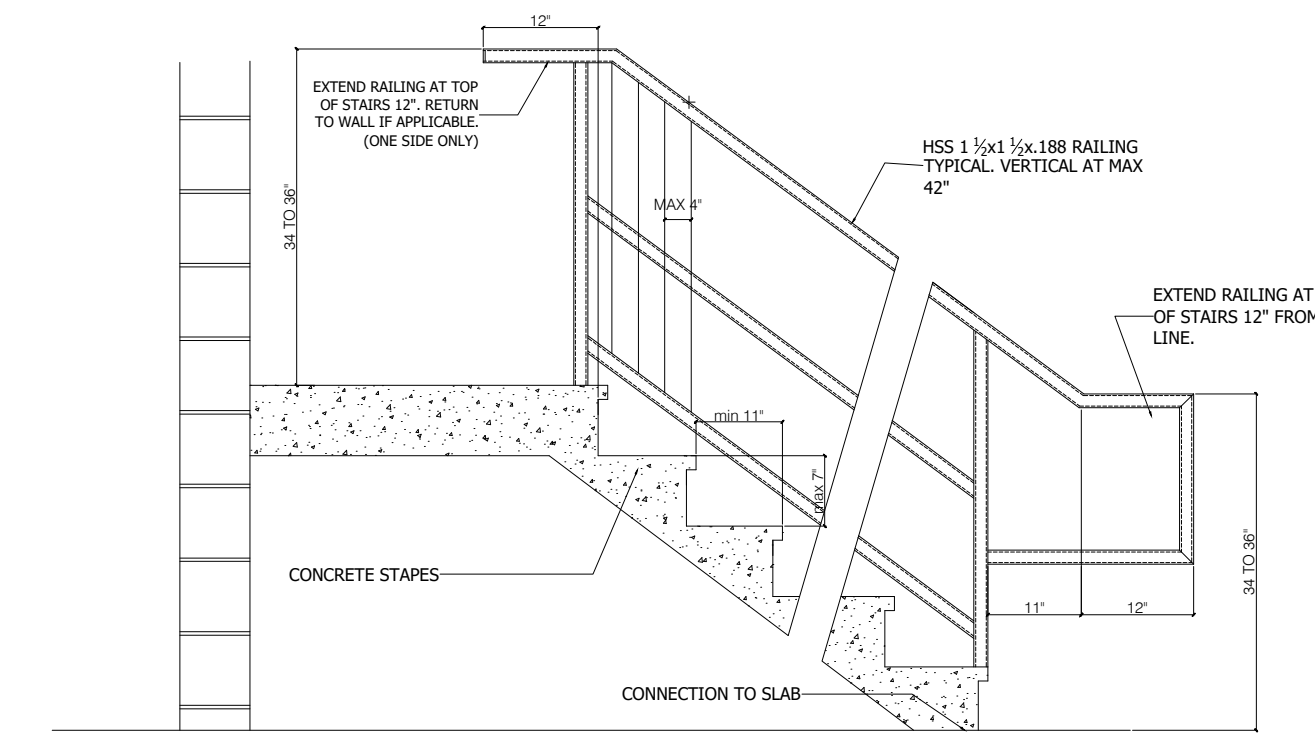
10 STUD WALL DETAIL



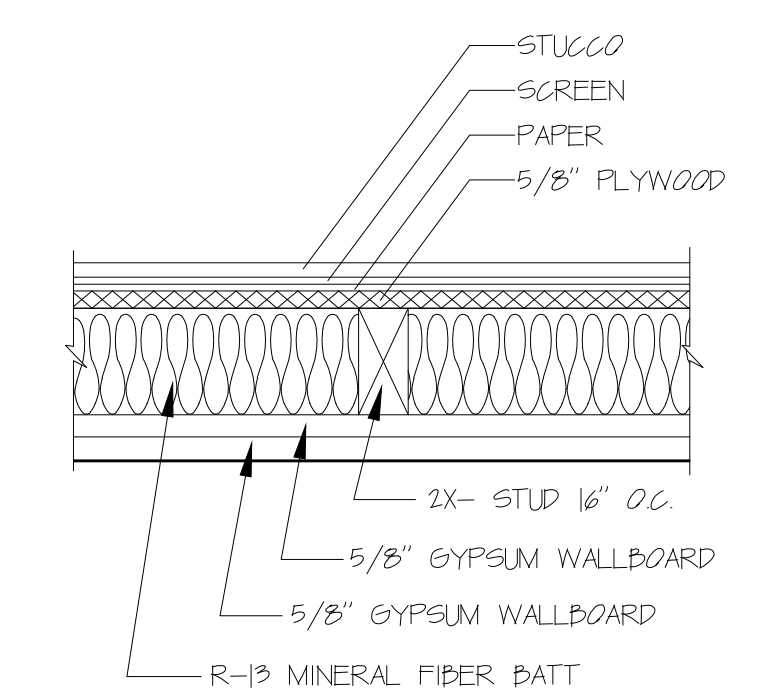
11 WALL SECTION



12 EXTERIOR WALL

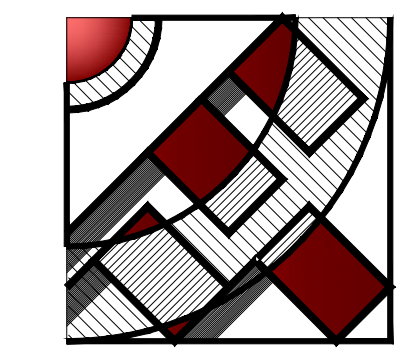


13 CONCRETE STAIR DETAIL



15 2-HR FIRE RATED EXTERIOR WALL

STAIR #1 DETAIL
ANTI-SLIPPERY SELF ADHESIVE COVER ON TREADS.
GRIND SMOOTH ALL WELDS.
PAINT FINISH ON ALL STEEL.



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4615 WINNETKA CIR, WOODLAND HILLS, CA 91364

PROJECT :

6506-6510 S MAIN ST, LOS ANGELES, CA 90003

SHEET TITLE:

DETAILS

REVISION:

NO.	DATE	BY

SCALE: -
DESIGN & DRAWN: FMI
DATE: 10.02.21
JOB NUMBER:

SHEET

AD-2

FIRE NOTES

INTERIOR FINISHES

- Interior wall and ceiling finish shall have a flame spread index greater than that specified in T803.11. Specify interior wall and ceiling finish on plans. (L AFC 803.3). 32- Material, other than foam plastics, used as interior trim shall have a min Class C flame spread and smoke-developed index and shall not exceed 10 % of the wall or ceiling area in which it is attached. (L AFC 804.1).
- Curtains, draperies, fabric hangings, and similar combustible decorative materials suspended from walls or ceilings shall not exceed 10 % of the wall or ceiling area to which such materials are attached. (L AFC 807.3)*.
- In every Group A, E, I, R-1, R-2, and R-2.1, all drapes, hangings, curtains, drops, and all other decorative material shall be made from a nonflammable material or treated and maintained in a flame- retardant condition by means of a flame-retardant solution or process approved by the OSFM. (Title 19, Div 1. %3.08.

DOORS:

- doors shall be readily operable from the egress side without the use of a key or special knowledge or effort.
- door handles, pulls, latches, locks and other operating devices shall be installed 34" min and 48" max above the finished floor
- doors serving rooms or spaces with an occupant load>49 in a group a, e, i-2, or i-2.1 shall provide panic or fire exit hardware. cbc 1010.1.10

STAIRWAYS:

- MIN. CLEAR WIDTH OF 44". (CBC 1011.2).
- Headroom clearance of 280" (CBC 1011.3)
- Riser heights shall be 7" max and 4" min. Tread depths shall be 11" min. [CBC 1011.5.21*
- Provide a floor or landing at the top and bottom of each stairway. Width and length of the landing shall not be less than the width of stairway served. (CBC 1011.6)
- Stairways shall be built of materials consistent with the type of construction. (CBC 1011.7)te
- Walls and soffits of enclosed usable spaces under stairways shall be protected by 1-hr fire-resistance-rated construction or the fire-resistance rating of the stairway, whichever is greater The open space under exterior stairways shall not be used for any purpose. (CBC 1011.7.3-4) 5 3 76.
- A flight of stairs shall have a vertical rise s12' between floor landings. (CBC 1011.8)
- Stairs shall have handrails on each side. (CBC 1011.11) One stairway shall extend to the roof surface in buildings >3 stories above grade plane. Access to the roof shall be provided through a penthouse. Where roof hatch opening is located within 10' of the roof edge, access shall be protected by guards. (CBC 1011.12-13)".
- exit sign shall be readily visible from any direction of egress travel exit sign placement shall be such that on point in an exit access corridor or exit passageway is more than 100' from the nearest visible exit sign. (cbc 1013.1).

HANDRAILS:

- height between 34"-38" (cbc 1014.2).
- extend horizontally > 12" beyond the top rinsed and continue to slope for the depth of one tread beyond the bottom riser. (cbc 1014.6).
- Intermediate handrails required such all portions of required width are within 30". (cbc 1014.9).

GUARDS:

- required along open-side walking surfaces located > 30" to the floor below. (cbc 1015.2).
- height > 42" cbc 1015.3).
- no openings which allow passage of a sphere 4" in diameter from walking surface to guard height. (cbc 1015.4).
- where roof hatch opening is within 10' of roof edge (cbc 1015.7).

NOTES:

- NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battry backup. (cbc 915.4.2. 2/4)
- NOTE: "In the event of power supply failure, an emergency electrical system shall automatically illuminate all of the following areas for a duration of not <90 min. Emergency lighting facilities shall be arranged to provide initial illumination that is not less than an average of 1 footcandle and a min at any point of.1 footcandle." (CBC 1008.3-5)

I Aisles
 II Corridors
 III. Exit access stairways and ramps
 IV. Interior and exterior exit stairways and ramps
 V. Exit passageways
 VI. Vestibules and areas on the level of discharge used for exit discharge
 VII Electrical equipment rooms
 VIII. Fire command centers.
 IX. Fire pump rooms
 X. Generator rooms.
 XI. Public restrooms>300 SF.

- NOTE- "Provide two-way communication at the landing serving each elevator or bank of elevators above or below the level of exit discharge (CBC 1009.8)*
- 4 Exit signs shall be internally or extern ally illuminated" (CBC 132 013.3)*
- NOTE- Tactile exit signs shall be required at the following locations (CBC 1013.4)
 - "EXIT sign at each grade-level exterior door
 - Each exit door that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate:
 - "EXIT STAIR DOWN
 - EXIT RAMP DOWN
 - "EXIT STAIR UP
 - "EXIT RAMP UP
 - "EXIT ROUTE" at each exit door that leads directly to a grade- level exterior exit by means of an exit enclosure or an exit passageway.
 - "EXIT ROUTE" at each exit access door from an interior room
 - "TO EXIT" at each exit door through a horizontal exit.
- NOTE: "Exit signs shall be illuminated at all times. (CBC 1013.5).

- NOTE: "The face of an exit sign illuminated from an external source shall have an intensity of 25 footcandles." (CBC 1013.6.2) 36)
- NOTE: "In case of primary power loss, the sign illumination means shall be connected to an emergency power system for a duration of not <90 minutes". (CBC 1013.6.3)*
- NOTE: "Provide a sign at each floor landing in an interior exit stairway and ramp connecting 3 stories designating the floor level, the terminus of the top and bottom and the identification of the stairway or ramp. The signaled shall also state the story of, and the direction to, the exit discharge and the availability of roof access for the fire department. The sign shall be located 5' above the floor landing." (CBC 1023.9)
- NOTE: "Smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required smoke alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (L AFC 907.2.11.5-6) 9
- Carbon monoxide detection shall be provided in the following ocations: (L AFC 915.1.1):
 - Dwelling Units:
 - Outside of each separate sleeping area.
 - Every occupiable level of a dwelling unit.
 - Bedrooms where a fuel-burning appliance is located within or its attached bathroom
 - Sleeping Units."
- NOTE: "Carbon monoxide alarms shall be interconnected in such a manner that the activation of one alarm will activate all the alarms in the individual unit. Required carbon monoxide alarms shall receive their primary power from the building wiring and shall be equipped with a battery backup." (L AFC 915.4.2/4)

GREEN NOTES

- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40 AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTION 110.10(b) THROUGH 110.10(C) SHALL BE PROVIDED TO THE OCCUPANT.
- MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATE METER OR SUBMETER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.
- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GRN 12. SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
- THE FLOW RATES FOR ALL ALL PLUMBING FIXTURES SHALL COMPLY WITH MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1"
- BUILDING ON SITE WITH 500 SQUARE FEET OR MORE OF CUMMULATIVE LANDSCAPE AREA SHALL HAVE A SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.
- a. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBBS.
 - FOR ONE AND TWO FAMILY DWELLINGS, ANY PERMANENTLY INSTALLED OUTDOOR IN-GROUND SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH A COVER HAVING A MANUAL OR POWER-OPERATED REEL SYSTEM. FOR IRREGULAR-SHAPED POOLS WHERE IT IS INFEASIBLE TO COVER 100 PERCENT OF THE POOL DUE TO ITS IRREGULAR SHAPE, A MINIMUM OF 80 PERCENT OF THE POOL SHALL BE COVERED.
 - FOR SITES WITH OVER 500 SQUARE FEET OF LANDING AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
- WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE.
- BUILDING NOT EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
- BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH A MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES.
- WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGE TO THE SEWER.
- THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.2 OR 610.4.1.3
- MATERIALS DELIVERE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OR OTHER SOURCES OF MOISTURE.
- FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE OF FINAL INSPECTION.
- ALL DUCTS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT."

12. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1-4 4.504.3

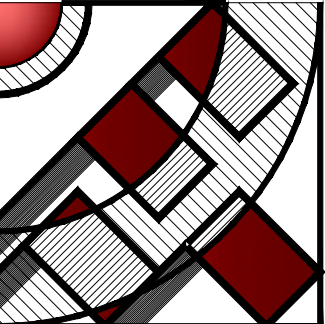
GENERAL NOTES

- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED AT THE TOP RUBBISH AND LINEN CHUTES AND IN THEIR TERMINAL ROOMS. CHUTES SHALL HAVE ADDITIONAL SPRINKLER HEADS INSTALLED AT ALTERNATE FLOORS AND AT THE LOWEST INTAKE.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP
- PROVIDE EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH LAFC 510
- IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS FOR DURATION OF NOT <90 MIN. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE AND MIN. AT ANY POINT OF 1 FOOTCANDLE.
 - AISLES
 - CORRIDORS
 - EXIT ACCESS STAIRWAYS AND RAMPS
 - INTERIOR AND EXTERIOR EXIT STAIRWAYS AND RAMPS
 - VESTIBULES AND AREAS ON THE LEVEL OF DISCHARGE USED FOR EXIT DISCHARGE
 - ELECTRICAL EQUIPMENT ROOMS
 - FIRE COMMAND CENTERS
 - FIREPUMPS ROOMS
 - GENERATOR ROOMS
 - PUBLIC RESTROOMS>300 SF
- PROVIDE TWO WAY COMMUNICATION AT THE LANDING SERVING EACH ELEVATOR OR BANK OF ELEVATORS ABOVE OR BELOW THE LEVEL OF EXIT DISCHARGE.
- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED
- MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPSC IS OCCUPIED. THE ILLUMINATION LEVEL SHALL NOT BE <1 FOOTCANDLE AT THE WALKING SURFACE.
- TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
 - "EXIT" SIGN AT EACH GRADE-LEVEL EXTERIOR DOOR.
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE
 - EXIT STAIR DOWN
 - EXIT RAMP DOWN
 - EXIT STAIR UP
 - EXIT RAMP UP
 - EXIT ROUTE AT EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY.
 - EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - EXIT ROUTE AT EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY.
 - " TO EXIT" AT EACH EXIT DOOR THROUGH HORIZONTAL EXIT.
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
- THE FACE OF AN EXIT SIGN ILLUMINATED FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF 25 FOOTCANDLES
- IN CASE OF PRIMARY POWER LOSS, THE SIGN ILLUMINATION MEANS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM FOR DURATION OF NOT <90 MINUTES.
- PROVIDE A SIGN AT EACH FLOOR LANDING IN AN INTERIOR EXIT STAIRWAY AND RAMP CONNECTING >3 STORIES DESIGNATING THE FLOOR LEVEL THE TERMINUS OF THE TOP AND BOTTOM AND THE IDENTIFICATION OF THE STAIRWAY OR RAMP. THE SIGNAGE SHALL ALSO STATE THE STORY OF, AND THE DIRECTION TO, THE EXIT DISCHARGE AND THE AVAILABILITY OF ROOF ACCESS FOR THE FIRE DEPARTMENT. THE SIGN SHALL BE LOCATED 5' ABOVE THE FLOOR LANDING.

CARBON MONOXIDE :

- SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN HTE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPED WITH A BATTERY BACKUP.
- CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

3. BASEMENT AND SLEEPING ROOMS BELOW THE 4TH STORY SHALL HAVE AT LEAST 1 EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPEN TO A PUBLIC WAY.



FMI
 DESIGN & ENG.
 CONSTRUCTION.

19730 VENTURA BLVD. #5
 WOODLAND HILLS, CA 91364
 TEL.: (818) 932-0393 FAX: (818) 932-0419

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OWNER :

RAMI BEMMOSHE
 4615 WINNETKA CIR, WOODLAND HILLS,
 CA 91364

PROJECT :

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GENERAL BUILDING NOTES

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